

VILLAGE OF ANTIOCH

12-02-01

*AN ORDINANCE APPROVING A PRELIMINARY PLAT OF SUBDIVISION
ON THE NORTH SIDE OF ILLINOIS ROUTE 173, IMMEDIATELY EAST OF ILLINOIS
ROUTE 83(FILE NO. PZB 11-07)*

ADOPTED BY THE PRESIDENT AND BOARD OF TRUSTEES

OF THE

VILLAGE OF ANTIOCH, ILLINOIS

ON

February 6, 2012

Published in pamphlet form by authority of the Village Board
of the Village of Antioch, Lake County, Illinois,
this 23rd day of February, 2012

LAWRENCE M. HANSON	President	DENNIS B. CROSBY	Trustee
		MARY C. DOMINIAK	Trustee
CANDI L. ROWE	Clerk	JAY JOZWIAK	Trustee
		SCOTT A. PIERCE	Trustee
ROBERT J. LONG	Attorney	TED P. POULOS	Trustee
		GEORGE C. SAKAS	Trustee

ORDINANCE NO. 12-02-01

AN ORDINANCE APPROVING A PRELIMINARY PLAT OF SUBDIVISION ON THE NORTH SIDE OF ILLINOIS ROUTE 173, IMMEDIATELY EAST OF ILLINOIS ROUTE 83(FILE NO. PZB 11-07)

WHEREAS, NRG Antioch 173, LLC, is an owner of certain property located within the Village of Antioch, situated upon the northeast corner of Illinois Route 173 and Illinois Route 83 (also known as Main Street), which property is legally described as set forth on Exhibit A hereto, and which property is hereafter described as the "Subject Property", and

WHEREAS, NRG Antioch 173, LLC ("Petitioner"), has petitioned the Village for approval of a preliminary plat of subdivision of the Subject Property with the intention of using it for development of a Walgreen's retail drug store, and

WHEREAS, the said Petition included requests for a variance from certain aspects of the applicable form based code, for a variance from a sideyard requirement and for a special use permit for an electronic message graphic, and

WHEREAS, the Combined Planning Commission and Zoning Board ("PZB") conducted a public hearing, following notification as required by law, on December 8, 2011, and

WHEREAS, following testimony from the petitioner, Staff and the public, the PZB concluded with a positive recommendation, with conditions to be addressed in the final platting process, and

WHEREAS, the Village Board has received the recommendations of the PZB, and has duly deliberated upon the issues and it thereupon makes the following factual findings:

1. The existing structures on the subject property are old, unattractive and do not constitute the highest and best use of the property;
2. The existing structures on the subject property are served by an excessive number of driveway aprons and curb cuts;
3. The adjoining property to the north is in a residential zoning district, however it is actually used as a large community high school that has been present on that site for many decades and there is no residential use on that property at the present, nor will there be for the foreseeable future;

4. The proposed electronic message graphic is intended to replace one that currently exists at the Walgreen's facility on the west side of the subject intersection, and its proposed location is in conformity with the sight lines, distances and other parameters of the Village's Sign Code;
5. The Petitioner started the process of acquiring the parcels that make up the Subject Property and developing its plans prior to the Village adopting the Form Based Code, and as such, was hampered in its preparation of those plans in the face of uncertainty as to which code would ultimately apply to the Subject Property;
6. The Subject Property is a gateway property, standing as the primary entrance from the east and south to the downtown historic district and the careful development of a parcel of this importance has been taken into consideration by the Petitioner and by the corporate authorities as well as by the PZB;
7. The proposed plans for the site development and the physical structure of the store constitute aesthetically pleasing improvements that will beautify this gateway property and which will meet the spirit and intent of appropriate transitional properties leading into the downtown area where the form based code is utilized.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF ANTIOCH, ILLINOIS, AS FOLLOWS:

SECTION ONE. The Mayor and Board of Trustees of the Village of Antioch hereby find the facts as stated in the preamble hereof are true and correct and said findings are made a part of this Ordinance.

SECTION TWO. The preliminary plat of subdivision prepared by Hirsch Associates, bearing date of December 8, 2011 be and is approved and consists of one plate page, together with three pages of initially proposed architectural details, and with an additional final revision of the proposed architectural details and façade modifications dated January 20, 2012. Exhibits to the Final Plat include the following documents:

- A. Petition and Letters from the Developer
- B. Letter of Recommendation from the Planning and Zoning Board
- C. Staff report
- D. Letter from School District 117
- E. Developers Response to School District 117
- F. Architectural and Site Plan Exhibits
- G. Revised Site plan and offsite Improvements.

SECTION THREE. Also included as part of the approved preliminary plat are the following conditions:

- A. The variance from Section 10-13-B4 is hereby granted, provided that the Petitioner shall develop final plans in conjunction with the Antioch Community High School District to provide for safe and efficient traffic and pedestrian usage of what would have been the required bufferyard area.
- B. The special use for the electronic message graphic is approved in principle, provided that the Petitioner shall be required to permit the use of one "wing" of the sign for Village-sponsored events in perpetuity as it agreed to in the public hearings, and as provided for in the Resolution adopted at the same time as this Ordinance.
- C. The variance from the Form Based Code (Article 10-10) is hereby granted, on condition that the proposed structure be built in substantial conformity with the revised rendering dated January 20, 2011.
- D. Prior to the issuance of any site development or building permit, a Village approved final plat of subdivision must be recorded with the Lake County Recorder.
- E. Also prior to the issuance of any site development or building permit, a letter from each of the dry utility companies which indicate that all necessary easements are in place, and that utility mains and capacity are available.
- F. All site lighting must be oriented 90 degrees downward toward the ground with a shielded flat lens fixture. Furthermore, if any skylights are to be installed in the proposed buildings, there must be a written commitment from the building owner and occupant that the interior lights in the area of the skylights shall be dimmed during the evening and early morning hours.

SECTION FOUR. Penalty. Any person violating any of the provisions of this Ordinance shall be fined as provided in the general penalty in Section 1-3-1 of the Village Code for each offense and a violation shall be deemed to exist for each day during which violations of this Ordinance continue.

SECTION FIVE. This Ordinance shall be in full force and effect from and after the passage and approval and publication in pamphlet form, as provided by law.

AYES: 5: Pierce, Sakas, Poulos, Crosby, and Jozwiak.

NAYS: 0.

ABSENT: 1: Dominiak.

PASSED and APPROVED this 6th day of February, 2012.


Lawrence M. Hanson, Mayor

ATTEST:


Candi L. Rowe, Village Clerk



STATE OF ILLINOIS)
)
COUNTY OF LAKE) SS

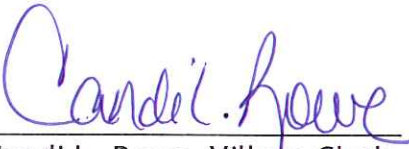
CERTIFICATE

I, Candi L. Rowe, certify that I am the duly appointed Municipal Clerk of the Village of Antioch, Lake County, Illinois.

I certify that on February 6, 2012, the Corporate Authorities of such municipality passed and approved **Ordinance No. 12-02-01**, entitled "***AN ORDINANCE APPROVING A PRELIMINARY PLAT OF SUBDIVISION ON THE NORTH SIDE OF ILLINOIS ROUTE 173, IMMEDIATELY EAST OF ILLINOIS ROUTE 83 (FILE NO. PZB 11-07)***" which provided by its terms that it should be published in pamphlet form.

The pamphlet form of **Ordinance No. 12-02-01**, including the Ordinance and cover sheet thereof, was prepared, and a copy of such Ordinance was posted in the municipal building, commencing on February 23, 2012, and continuing for at least ten days thereafter. Copies of such Ordinance were also available for public inspection upon request in the office of the Municipal Clerk.

DATED at Antioch, Illinois, this 23rd day of February, 2012.


Candi L. Rowe, Village Clerk



Included with the plat request and an integral part thereof, is a request for:

- ☒ A Special Use pursuant to Section 10.14.9 (D) Criteria for LED
- ☐ A Special Use - Planned Development pursuant to Section 150.105 et. seq.; Concept Plan Review, file #DRC_____.
- ☒ Other - Please describe: Variance for Rear Yard setback – 10.13.2 (Rear Buffer Yard Adjacent to Residential)

Such an amendment will not adversely affect the public health, safety, or general welfare of the community, and will be in conformity with the Comprehensive Plan in that:

Please see attached introductory narrative statement

Other reasons for this request are as follows:

Please see attached introductory narrative statement

(Please attach relevant information concerning other governmental agency reviews of this request, including correspondence, file numbers, background studies, etc.)

Data of Applicant and Owner:

Name of Applicant(s): NRG Antioch 173, LLC

Address of Applicant(s): c/o Centrum Properties, Inc.
225 West Hubbard, 4th Floor
Chicago, IL 60654

Phone: Day: (312) 832-2500

Phone Evening: (847) 612-2935

Property Interest of Applicant(s): Contract Purchaser

Name of Owner(s): WILLIAM T. HUCKER AS TRUSTEE UNDER A TRUST AGREEMENT
DATED DECEMBER 19, 1990 AND KNOWN AS THE WILLIAM T.
HUCKER TRUST AGREEMENT, AS TO AN UNDIVIDED ¼ INTEREST,
RUTH K. HUCKER AS TRUSTEE UNDER A TRUST AGREEMENT
DATED DECEMBER 19, 1990 AND KNOWN AS THE RUTH K. HUCKER
TRUST AGREEMENT, AS TO AN UNDIVIDED ¼ INTEREST AND
LINDA R. HUCKER AS TRUSTEE UNDER A TRUST AGREEMENT
DATED JULY 18, 1986 AND KNOWN AS THE LINDA R. HUCKER
TRUST AGREEMENT, AS TO AN UNDIVIDED ½ INTEREST, as to
Parcel 1

BRUCE GEBERT AS TRUSTEE OF THE BRUCE J. GEBERT TRUST
DATED SEPTEMBER 9, 1993 KNOWN AS TRUST NUMBER 921703,
as to Parcel 2

Address of Owner(s): P.O. Box 413, Lake Villa, IL 60046, as to Parcel 1

267 Route 173, Antioch, IL 60002, as to Parcel 2

(Pursuant to the Village Code as amended by Ordinance Number 94-1-3, the ownership of the property must be disclosed. **If the property is in Trust, submit to the Village Clerk a Certificate of Trust disclosing all the beneficial owners;** If the property is owned by a corporation, submit a letter from the Chief Executive Officer disclosing all the officers of the corporation).

Attorney for the Petitioner:

David Meeks
Becker Gurian
513 Central Avenue
Highland Park, Illinois 60035
847-433-2442
fax 847-433-2025

I (we) acknowledge that any and all drawings submitted, of buildings and other habitable structures are preliminary in nature; they accurately describe the maximum proposed dimensions of the proposed structures. Final details regarding the construction of such structures shall be in full compliance with the technical codes adopted within the Antioch Village Code, and in force and effect at the time of the specific and complete permit application.

I (we) consent to the entry in or upon the premises described in this application by any authorized official of the Village of Antioch, Illinois, during normal working hours, for the purposes of: viewing the site and/or structures related to this request; and the posting, maintaining, and removing such notices as may be required by law.

I (we) certify that all of the above statements and the statements contained in any papers or plans submitted herewith are true to the best of my (our) knowledge and belief.

APPLICANTS:

Rich Palm

(Signature) applicant

10/31/11

date

(Signature) applicant

date

OWNERS:

(Signature) owner

date

(Signature) owner

date

APPLICANT'S
ATTORNEY:

(Signature) attorney

date

=====

OFFICE USE ONLY

REC _____

VBoT _____

ORD _____

FLAT FEE \$ _____

ESCROW DEP. \$ _____

I (we) acknowledge that any and all drawings submitted, of buildings and other habitable structures are preliminary in nature; they accurately describe the maximum proposed dimensions of the proposed structures. Final details regarding the construction of such structures shall be in full compliance with the technical codes adopted within the Antioch Village Code, and in force and effect at the time of the specific and complete permit application.

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I (we) certify that all of the above statements and the statements contained in any papers or plans submitted herewith are true to the best of my (our) knowledge and belief.

APPLICANTS:

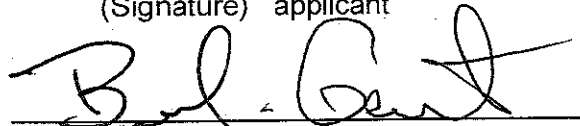
(Signature) applicant

date

(Signature) applicant

date

OWNERS:



(Signature) owner

date

AS TRUSTEE OF BRUCE GEBEL TRUST.

(Signature) owner

date

APPLICANT'S
ATTORNEY:

(Signature) attorney

date

=====

OFFICE USE ONLY

REC _____

VBoT _____

ORD _____

FLAT FEE \$ _____

ESCROW DEP. \$ _____

**Bruce Gebert
267 Route 173
Antioch IL 60002**

October 25, 2011

To Whom It May Concern:

Re: Bruce J. Gebert Trust dated September 9, 1993 known as Trust Number 921703

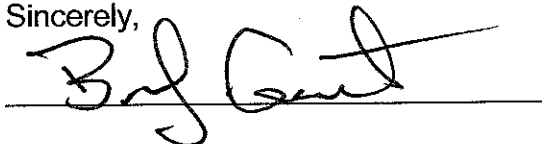
Trustee's Certificate of Beneficial Interest

Bruce Gebert as Trustee of the Bruce J Gebert Trust does hereby certify that his records disclose that the Beneficial Interest for the above captioned land trust is as follows:

Beneficial Interest:

Bruce J. Gebert (100%)

Sincerely,

A handwritten signature in black ink, appearing to read "Bruce Gebert", is written over a horizontal line.

Bruce Gebert as Trustee of the Bruce J, Gebert Trust

I (we) acknowledge that any and all drawings submitted, of buildings and other habitable structures are preliminary in nature; they accurately describe the maximum proposed dimensions of the proposed structures. Final details regarding the construction of such structures shall be in full compliance with the technical codes adopted within the Antioch Village Code, and in force and effect at the time of the specific and complete permit application.

I (we) consent to the entry in or upon the premises described in this application by any authorized official of the Village of Antioch, Illinois, during normal working hours, for the purposes of: viewing the site and/or structures related to this request; and the posting, maintaining, and removing such notices as may be required by law.

I (we) certify that all of the above statements and the statements contained in any papers or plans submitted herewith are true to the best of my (our) knowledge and belief.

APPLICANTS:

(Signature) applicant

date

(Signature) applicant

date

OWNERS:

X Linda R. Huerter
(Signature) owner

date

X _____
(Signature) owner

date

APPLICANT'S
ATTORNEY:

(Signature) attorney

date

=====

OFFICE USE ONLY

REC _____
VBoT _____
ORD _____

FLAT FEE \$ _____

ESCROW DEP. \$ _____

I (we) acknowledge that any and all drawings submitted, of buildings and other habitable structures are preliminary in nature; they accurately describe the maximum proposed dimensions of the proposed structures. Final details regarding the construction of such structures shall be in full compliance with the technical codes adopted within the Antioch Village Code, and in force and effect at the time of the specific and complete permit application.

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I (we) certify that all of the above statements and the statements contained in any papers or plans submitted herewith are true to the best of my (our) knowledge and belief.

APPLICANTS:

(Signature) applicant

date

(Signature) applicant

date

OWNERS:

Linda R. Hinder
(Signature) owner

date

Dellina J. Hinder
(Signature) owner

10-24-11
date

APPLICANT'S
ATTORNEY:

(Signature) attorney

date

=====

OFFICE USE ONLY

REC _____
VBoT _____
ORD _____

FLAT FEE \$ _____

ESCROW DEP. \$ _____

**CERTIFICATIONS AS TO TRUSTS FOR VILLAGE OF ANTIOCH REQUEST FOR
SUBDIVISION PLAT APPROVAL**

I, William T. Hucker, hereby certify that I am Trustee of the William T. Hucker
Trust dated December 19, 1990.

By: William T. Hucker
William T. Hucker
Dated: October 23, 2011

I, William T. Hucker, hereby certify that I am Trustee of the Ruth K. Hucker Trust
dated December 19, 1990.

By: William T. Hucker
William T. Hucker
Dated: October 23, 2011

I, Linda R. Hucker, hereby certify that I am Trustee of the Linda R. Hucker Trust
dated July 18, 1986.

By: Linda R. Hucker
Linda R. Hucker
Dated: October 23, 2011

LEGAL DESCRIPTIONS

PARCEL 1:

LOTS 1, 2 AND 3 (EXCEPT THAT PART OF LOTS 1 AND 2 TAKEN FOR ROAD) IN JENSEN'S SUBDIVISION OF PART OF LOT 123 IN COUNTY CLERK'S SUBDIVISION IN SECTION 17, TOWNSHIP 46 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 2, 1947 AS DOCUMENT NO. 614306, IN BOOK 29 OF PLATS, PAGE 66, IN LAKE COUNTY, ILLINOIS.

PARCEL 2:

LOTS 4, 5 AND 6 IN JENSEN'S SUBDIVISION OF PART OF LOT 123 IN COUNTY CLERK'S SUBDIVISION IN SECTION 17, TOWNSHIP 46 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 2, 1947 AS DOCUMENT 614306, IN BOOK 29 OF PLATS, PAGE 66, IN LAKE COUNTY, ILLINOIS.

November 28, 2011

VIA E-MAIL

Mr. Dustin Nilsen
Director of Planning and Zoning
Village of Antioch
874 Main Street
Antioch, IL 60002

RE: Proposed New Walgreens at Route 173 and Route 83
Petitioner: NRG Antioch 173, LLC
File No. PZB 11-07
Public Hearing Date: December 8, 2011

Dear Mr. Nilsen:

The Petitioner, NRG Antioch 173, LLC, an affiliate of Centrum Properties, is proposing to build a new Walgreens at the northeast corner of Route 173 and Route 83 (the "Project"). The Applicant filed a Request for Subdivision Plat Approval, including requests for a special use for EMG signage, and a variance for rear yard setback. The Petitioner now amends and restates the variance request as a result of the Village's recent enactment of amendments to Title 10 of the Village Code, specifically the adoption of the Downtown Antioch Form Based Code (the "Code") and the rezoning of the development site to the Commercial Edge District.

The Petitioner now seeks two variances from the Commercial Edge District regulations set forth in the Code at Section 3: Zoning Districts. One variance is to allow building setbacks in excess of 25' from the Route 173 and Route 83 right-of-way. The other variance is to permit the placement of on-site surface parking in front of the building.

Both of the variances from the Commercial Edge District regulations are necessitated by practical design difficulties resulting the size, dimensions and location of the Project site. The Project consists of a new single-story 14,820 square foot Walgreens with a drive-thru pharmacy service window. The site characteristics significantly constrain the options for the building's orientation to the street and traffic circulation around and within the site. The site is elongated and narrowest at the street corner. The Petitioner and Walgreens explored site and building layout alternatives before concluding that the only suitable location for a Walgreens store of this size is on the easterly half of the site, at its widest area. Although set back from the street corner, this building placement will allow Walgreens to incorporate a drive-thru service window, an essential feature for the convenience, safety and comfort of many of Walgreens' customers. The proposed building location also reduces views of the drive-thru, loading and service areas,

CENTRUM
PROPERTIES

which would not be possible if the building were situated closer to the street corner. Although surface parking is located in front of the building, the Project provides yard and parking area shade trees, 40" hedge shrubs and a corner landscape feature along the street perimeter to provide an attractive transitional streetscape design which will help visually introduce the southern part of the Downtown District.

Other practical difficulties led the Petitioner to have to request these variances from the new Code. It took the Petitioner much longer than originally anticipated to be able to formally file its applications for subdivision plat and related entitlements. In particular, a tenant holdout and resulting lengthy difficult lease buy-out efforts significantly and unexpectedly extended the time required to assemble all of the parcels for the entire development site. Consequently, this delayed the Petitioner's ability to ask Walgreens for final corporate sign-off on the site plan and building design. The Petitioner invested significant time, resources and money to prepare a feasible development plan that was appropriate to the site and the Village's expectations, and also was acceptable to Walgreens. To date, the Applicant has invested more than \$150,000 in the Project for non-refundable earnest money, lease buy-out payments, and engineering, architectural and legal fees.

Although the Petitioner began planning the Project nearly one year prior to the Village's adoption of the Code, the Petitioner was mindful that the Village was in the process of evaluating a new form based zoning code regulatory scheme. The Petitioner's architectural and design team reviewed the draft code and prepared a Project plan that embodies the high-quality site and building design principles that have been expressed in the draft code revisions and in the final enacted Code. From a practical standpoint, at the time the Petitioner was assembling the site, designing the Project and preparing the plat and building architecture, changes in the applicable zoning regulations were a possibility but not a certainty. But for the delay caused by the tenant holdout, the Petitioner would have filed its application prior to adoption of the Code.

Finally, the Petitioner reiterates that the variances will not adversely affect the public health, safety or general welfare of the community in that:

- 1) The drug store use will be beneficial not injurious to the current property uses in the immediate vicinity. It will complement neighboring uses in the area and help enhance property values along Route 173;
- 2) The Project will not impede the normal development and improvement of the surrounding property;
- 3) The Project will improve current access ways, drainage, utilities, and other necessary facilities;
- 4) The Petitioner has provided adequate measures to minimize traffic congestion in the public streets by removing existing access points from Route 173; and
- 5) The proposed plan of development complies with the objectives of the Antioch Comprehensive Plan.

The Project will be beneficial to the Village of Antioch. By increasing sales tax and property tax revenue, as well as by improving the retail experience for residents of Antioch and the surrounding area, the Project will foster the beautification of the retail corridor at the southern gateway to Downtown Antioch. The Project is a wonderful opportunity to begin the

redevelopment of this transitional area of Downtown Antioch in a way that supports and embodies the objectives and guiding principles expressed in the Downtown Antioch Form Based Code.

For all of the above-stated reasons, as well as the reasons set forth in its applications and supporting documentation, testimony and other evidence, the Petitioner respectfully requests that the Planning and Zoning Board recommend approval of the Petitioner's applications for subdivision plat, special use and variances, as amended.

Sincerely,

A handwritten signature in black ink, appearing to read 'Graham Palmer', with a stylized 'G' and 'P'.

Graham Palmer

Trustees
Dennis B. Crosby
Mary C. Dominiak
Jay Jozwiak



Trustees
Scott A. Pierce
Ted P. Poulos
George C. Sakas

Lawrence M. Hanson, Mayor
Candi L. Rowe, Village Clerk

DRAFT

January 6, 2012

To: The Honorable Larry Hanson, Mayor; and
Members of the Village Board of Trustees

From: Vern Burdick, Chairmen
Combined Planning and Zoning Commission

RE: Request for Variances from 10-10 and 10-06, of the Village Zoning Code Form Based Code Requirements and Landscaping Buffers, a Special Use petition for the installation of an Electronic Message Graphic per section 10-14, and a preliminary subdivision plat approval upon the petition of NRG Antioch 173; PZB 11-07

The Combined Planning Commission and Zoning Board conducted a public hearing on December 08th, 2011 following notification as required by State Law and Village Ordinances to consider a variance, special use, and preliminary plat. Upon closure of the hearing the Planning and Zoning Board recommended approval of the three petition requests pursuant to Title 10-15 of the Village Code.

Centrum Properties, Howard Hirsch Architects, and Manhard Consulting provided presentations regarding the application. The NRG 173/Walgreen's proposal entails the redevelopment of the site now comprised of the Sunset Motel, the Squire Restaurant, and Multi-tenant commercial building on the northeastern corner of Illinois Route 173 and Route 83. The site consists of approximately 1.4 acres of commercially zoned property (previously B-3 service and Whole Sale and now Zoned Commercial Edge). As depicted in Plate 7 of the Village's Comprehensive Plan, the site is identified as future Commercial Development.

Representatives from School District 117 expressed concerns over cut through traffic that currently comes across the property and from Bishop Street. The applicant stated that it would review the matter with its site design and traffic engineers and work with the school.

Dustin Nilsen, Director of Community presented his report. He summarized the standards for variances, special uses, and preliminary platting requests listed under Title 10, Chapter 15, and Title 11 of the Village Code, made the staff findings, and recommendation for approval with the condition that engineering issues be satisfied prior to the petition and recommendation be heard before the Village Board.

The three land use requests from the petition are described as followed:

Subdivision:

The Village Subdivision Code states that wherever any subdivision of land shall be laid out within the incorporated limits of the village or within contiguous territory not more than one and one-half (1 1/2) miles beyond the incorporated boundary of the village, the subdivider or his agent shall submit both a preliminary and a final subdivision plat to the plan commission for their approval. Since the property consists of multiple parcels the Village subdivision code allows for the consolidation of parcels and acts as the vehicle for the dedication of easements for utilities and ingress/egress for emergency vehicles.

Variance:

The developer has petitioned for a variance from the Form Based Code requirements, due to existing site constraints and the fact that much of the site design work and conceptual review process, as required by Village Code had been completed prior to the Code's Adoption. Changes to the plan were made throughout the process to be sympathetic with the form code requirements, but the site layout still has departures that must be documented to be consistent with Village entitlement regulations.

Special Use for an Electronic Message Graphic:

Per 10-14 of the Village Code, A permit to erect or modify an EMG shall not be granted, unless a special use has been approved by the Village Board of Trustees in accordance with special use process as established by the zoning code. The applicant seeks to install an EMG on the 83 intersection corner facing southwest, as depicted in Tab 18, drawing prepared By Hirsch and Associated dated October 19th, 2011.

Based upon the review of the petition, testimony provided at the hearing, and relevant code criteria of Title 10 and 11 of the Village Code the Planning and Zoning Board unanimously recommends the approval of the variance, special use for an electronic message graphic, and the preliminary plat of subdivision with the following conditions;

- 1) The Architecture be revisited to include additional detailing on the eastern and northern facing elevations.
- 2) The applicant review the concerns of the school
- 3) The site lighting proposed be decorative in nature
- 4) Resolution of outstanding engineering issues

Respectfully submitted,

Vernon Burdick, Chairman
Combined Planning Commission and Zoning Board



MEMO

TO: Vern Burdick, Chairman; and Members of the
Combined Planning Commission and Zoning Board

FROM: Dustin Nilsen, AICP
Community Development Director

DATE: December 1, 2011

RE: Proposed preliminary plat of subdivision, Special Use request for an Electronic Message Graphic (EMG), and Variance from perimeter landscape buffers and Form Based Code Design Standards; NE corner of Rt.173 and Route 83; NRG Antioch 173, LLC; PZB11-07; **RECOMMENDATION TO APPROVE WITH CONDITIONS.**

BACKGROUND

This report is in preparation for the P&Z Board's meeting scheduled for Thursday, December 08; 2011 7:30 PM.

Recent Site Visit: November 30, 2011.

Size of Site: Approximately 1.43 Acres

*Existing Zoning: CE Commercial Edge; Formerly B-3, Service and Wholesale

*Adjacent Zoning: North: R-2, Single Family Residential
South: B-2, General Retail
East: B-2, General Retail
West: B-3, Service and Wholesale

*See ATTACHMENT #1 for Immediate Vicinity Zoning Map

Existing Use: Various Squire, Sunset Hotel, Multi-tenant Commercial

Adjacent Uses: North: Antioch High School
South: Jerry's Rock and Roll Drive In
West: McDonalds
East: District 117 Antioch High School Parking Lot

REVIEW COMMENTS:

As a part of the preliminary plat request the applicant has requested three zoning motions.

1). A Special Use Request for an Electronic Message Graphic

2). A variance from Title 10, Chapter 13, Section B4. 4. Side and rear buffer yards shall be a minimum of at least fifteen feet (15') in width, and include a forty inch (40") high hedge for the entire length of the buffer yard, except for motor vehicle service facilities and commercial uses with drive-up or drive-through facilities. These facilities shall be improved and maintained with a six foot (6') high, one hundred percent (100%) opaque fence the entire length of the buffer yard.

3). A Variance from the Village's Form Based Code Title 10-10 of the Village Code

After discussions and contracts to control the property were in place, the initial concept plan was reviewed by staff in September 2011. Amongst others, issues raised during the meeting included traffic access points, internal circulation, standards for Electronic Message Graphics, and the pending, but at that time unadopted form based code, landscaping, and architecture. The following is a brief summary of the zoning and subdivision issues identified by staff in the review of the preliminary plan.

General Land Use and Zoning Designations. The Walgreen's proposal is a four single lot commercial subdivision. The development site consists of approximately 1.43 acres of incorporated and commercially zoned property located on the northeastern corner of Illinois Route 173 and Route 83. As depicted in Plate 7 the Village's Comprehensive Plan, the site is identified as future Commercial Development.

Plat Request. The Village Subdivision Code states that wherever any subdivision of land shall be laid out within the incorporated limits of the village or within contiguous territory not more than one and one-half (1 1/2) miles beyond the incorporated boundary of the village, the subdivider or his agent shall submit both a preliminary and a final subdivision plat to the plan commission for their approval. The subdivision plats and all procedures relating thereto, shall in all respects be in full compliance with these regulations.

Electronic Message Graphic: Per 10-14 of the Village Code, A permit to erect or modify an EMG shall not be granted, unless a special use has been approved by the village board of trustees in accordance with special use process as established by the zoning code. The applicant seeks to install an EMG on the 83 intersection corner facing southwest, as depicted in Tab 18, drawing prepared By Hirsch and Associated dated October 19th, 2011.

Standards for EMGs are as followed: Staff comments on each item are in *italics*.

1. All EMGs shall be accessory to a principal structure and use and shall be located on the same premises as the structure and parking. An EMG may contain noncommercial messages.

The sign is accessory to the Walgreen's retail structure.

2. No EMG shall be allowed in residential zoning districts or shall face a single-family zone district or use.

The zoning designation is commercial, along with its neighboring structures.

3. An EMG shall be restricted to premises with an individual street frontage of an IDOT designated strategic regional arterial route greater than four hundred fifty (450) linear feet.

The site is located on an SRA and has 450 lineal feet of frontage.

4. No EMG shall be greater than eight feet (8') tall, as measured by the methodology of this chapter.

The proposed EMG is 7'4"

5. Each EMG sign face be antiglare and shall not exceed a total of twenty five (25) square feet. The square footage of each face shall be counted against the total area of all signage allowed for the premises.

The EMG face is 19.4 square feet and the total monument sign area is 38.8 feet. Allowable monument sign area per code is 40 square feet.

6. No EMG shall be located within five hundred feet (500') of another EMG, nor shall it share the structure of any other reader board or changeable copy sign.

So long as the existing Walgreen's EMG is removed the EMG shall comply with the spacing requirements. The next nearest EMG is approximately 505 feet to the north located at the Antioch High School.

7. No additional EMGs shall be allowed along Main Street between North Avenue and Illinois Route 173; or between Anita Avenue and Hillside Avenue (generally known as the form based overlay zone). Existing EMGs will be allowed to be maintained in current state under good repair. Replacement of components is allowed. If modifications to the sign are required, all applicable design standards shall apply unless waived by the village board. If any nonconforming existing EMG sign is damaged or deteriorated so that repairs would cost as much as fifty percent (50%) of the value of the sign, the sign may be repaired only if it is brought into conformance with this chapter.

The Applicant has requested a variance to the requirement based upon the timing and adoption of the form based code which post dated concept plan submissions and application process. Staff recommends that the removal of the existing pole mounted EMG be reviewed in consideration of the "additional" provision listed above, to comply with the spirit and intent of the code.

8. All EMGs shall be mounted in monument style bases that are at least as wide as the sign face, at least two feet (2') tall, and composed of a natural masonry finish such as brick or stone which matches that used on the associated principal structure. Alternative materials may be considered by the planning commission and village board if they are found to be consistent with the architecture of the principal structure.

The proposal complies with the masonry and monument provisions.

9. All EMGs shall be located in a minimum four hundred (400) square foot landscape area that ties into the overall site and incorporates a combination of berming, landscaping, and decorative hardscape.

The proposal includes the allotted landscape area.

10. An EMG electronic message board component shall not exceed fifty percent (50%) of the sign structure, and shall include a nonilluminated background. This area shall be consistent with the architectural design of the overall sign and may contain halo or indirectly lit, pin mounted, individual internal illuminated or routed lettering.

The proposal complies.

11. An EMG shall maintain a static display time for each message for a minimum of twenty four (24) hours. The change of message shall occur simultaneously for the entire sign face. No animation of any type, including, scrolling, dissolve, fade, or flashing light, or "spell on" display mode is allowed on any EMG. The sign shall have no revolving, flashing, moving, rotating, or similar intermittent lights.

The applicant shall agree to the operational limitations.

12. Electronic signs shall not exceed a maximum illumination of five thousand (5,000) nits during daylight hours, and one thousand (1,000) nits during nighttime hours. All EMGs shall include an auto dimming sensor that self-adjusts to changing ambient light conditions.

This shall be confirmed at the time of permit and incorporated into the ordinance affidavit.

13. Any malfunctioning EMG must be turned off or display a blank screen until repaired.

N/A

14. All electrical equipment used to operate or install an EMG must be UL listed.

N/A

15. All electrical power to an EMG sign must be supplied via underground carrier, inside approved conduit, include tamper resistant hardware and software, and must be installed according to the village building code.

Compliance check upon permit

16. All EMG signs shall be kept in good operating condition and maintained with good external appearance.

N/A

17. Any owner or operator of an EMG shall be required to submit a signed and sworn affidavit, stating that they are the lawful owners or the owners' authorized representative; that they understand the above conditions; and shall operate authorized EMG in strict compliance with above requirements. The failure of any operator and/or owner to comply with any of the above criteria shall be deemed a violation of this chapter and shall result in fines or revocation of the owner's special use permit. Owner agrees to indemnify the village if suit arises over the installation and operation of the respective sign. If third party confirmation is required to demonstrate compliance with the above standards, the owner or operator of the sign shall agree to cover any and all costs incurred by the village.

This provision shall be included into any approval ordinance.

Buffer Yard Variance Title 10, Chapter 13, Section B4.: Since the high school is zoned residential (R-2), the Zoning Code requires that a landscape buffer yard be installed at a minimum of 15 feet when a 40" hedge row and fence is incorporated into the yard. Staff supports the variance, but believes that the materials and landscaping that would have been installed, be incorporated into the street frontage buffers along 83 and 173. As part of the petition, this variance must be advertised and the case made by the applicant to demonstrate the practical design difficult and hardship in order for a finding to be made on the matter and forwarded to the Village Board.

Form Based Code and Site Design: Since the high school is zoned residential (R-2), the Zoning Code requires that a landscape buffer yard be

Architecture: The applicant has submitted initial architectural elevations. Staff expressed concerns over the compatibility and design of the proposed building, submitted architecture alternatives for various Walgreen's, and the Form Code design parameters for the petitioners review. In response, the petitioner has substantially revised the renderings and continues to work on the architecture with staff. Revised renderings will be presented based upon the comments.

Due to the visibility of the structure, staff recommends that the eastern elevation, especially at the southern limits include an architectural feature that balances the façade and improves the appearance from the south. In addition, the building should have four sides of architectural treatment, which includes the cornice, bays, and wainscoting on the north to be compatible with the southern and western facing elevations.

Landscape: Route 83 and 173 are the highest profile arterials within the Village and through the design guidelines adopted as part comprehensive plan, demand substantial landscape treatments. The applicant has met with shade tree installation standards, but due to the infill nature of the site, the 24 ornamental tree plantings cannot be met in the limited area without becoming visibility obstructions. As an alternative, staff recommends

that four ornamental trees be placed along the southern building elevation between the architectural features of the building and the shrub plantings be greatly increased at the corner monument and along the southern and western perimeters to act as parking lot screening to compensate for limited space available. .

Lighting: Lighting should be decorative in nature and represent the historic character that the structure embodies. Rather than typical box lighting staff recommends the use of historic lighting styles that stratify proper illumination standards and improve the aesthetics of the site.

Site Access: The site has 6 curb cuts at this time. The applicant has reduced the number to 2 full movement access points and a right in right out location on 173. Discussion with curb cut consolidation with the school have occurred, and staff requests the applicant summarize the findings in the traffic report to assure that anticipated traffic can be handles at the prescribed locations.

Life Safety Comments: These are included as an attached to the report below.

RECOMMENDATION

I recommend that the P&Z Board consider a motion to approve the petitions but only upon the condition that the applicant makes technical corrections subdivision plan site design, prior to have the Planning and Zoning Boards recommendation heard before the Village Board.

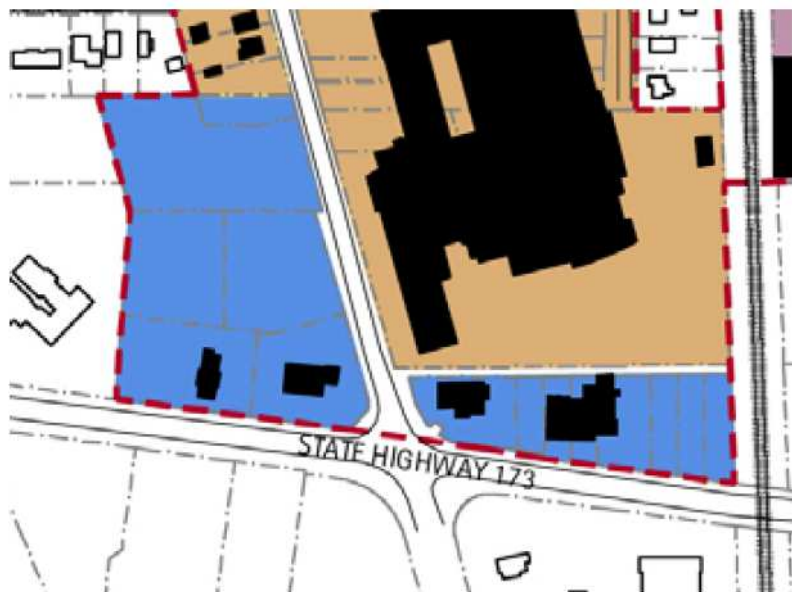
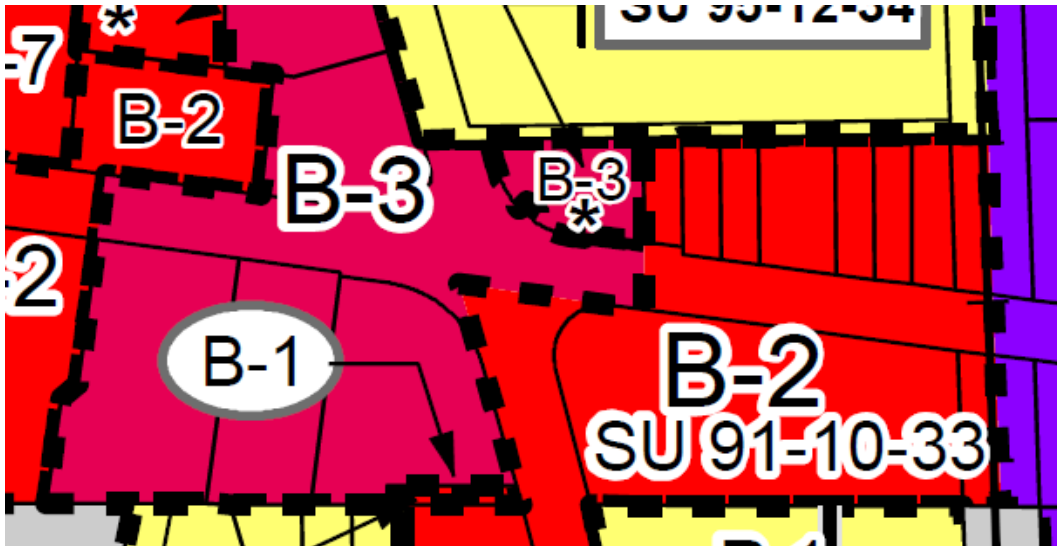
Respectfully submitted,

A handwritten signature in black ink, appearing to read "Dustin Nilsen", written over a light gray rectangular background.

Dustin Nilsen, AICP

Community Development Director

ATTACHMENT #1: File PZB11-07 Immediate Vicinity Zoning Map



The CE District, shown in blue, is located on the far southern edge of the Downtown study area.

ATTACHMENT #2: Life Safety Comments

To: Dustin Nilsen
From: Lee Shannon, III
CC: John Nixon, Jim Keim, Dennis Heimbrodt
Date: November 29, 2011
Re: Plan Review – Plat Approval for Subdivision – IL Route 173 & IL Route 83 – Walgreens – Site Plans Only

I have reviewed the site plans and paperwork submitted for the above mentioned property. I have the following concerns:

1. Fire Hydrant located at north east corner of property (#17-02-03) is an old double 2-1/2" hydrant that is practically unusable. This hydrant is currently a dead end hydrant on a 6" water main that is 500' from the nearest hydrant to the west.

Additional hydrants on the south side of the proposed building footprint are on the south side of IL Route 173. These are more suitable both water pressure and accessible needs. However, to use them requires immediate and total shut down of IL Route 173.

I would like to see the following:

- Hydrant #17-02-03 replaced with a double 2-1/2" with a 4-1/2" steamer
- Extend the dead end hydrant to loop to the south side of IL Route 173 water main (12" main)
- Install one additional hydrant on between #17-02-03 and #17-01-20 on the 6" main
- Install one additional hydrant on the south east corner of the property or in the easement of the north side of IL Route 173 nearest the south east corner of the property.

2. Trees are required as part of the landscape ordinance. Most of these trees on the conceptual landscape plan are on islands leading into and out of the parking area. In addition, trees are planned to be located along the south side of the building. Electrical, telephone and cable utilities all are above ground and are located along the north side of IL Route 173 (south side of proposed building).

Parking lot trees, especially those on parking islands, shall be of such type that when fully mature, will not impede, obstruct or otherwise cause damage

to emergency vehicles that would access such areas. Keep in mind that the trees planted under the utilities should be of such type that will not cause problems at maturity.

3. It is normal and customary for standalone stores to utilize sidewalk space for the sale of merchandise throughout the year. The current Walgreens store has a propane exchange and a movie dispensing box located on the sidewalk in front of it.

Plans shall be submitted showing the sidewalk and proposed locations and dimensions of such outdoor merchandising items.

4. It is typical for all businesses to have their parking lots cleared of snow during the winter months by pushing the snow past the outer perimeter of the parking lot. Based on the Conceptual Landscape Plan, this could pose a problem for pushing the snow past the outer perimeter of the parking area. In addition, if the winter produces a large amount of snow that lingers, snow piles could become sight obstructions along IL Route 173 and also IL Route 83 (Main Street). Being that this intersection is heavily travelled throughout the year, sight obstructions are a great concern.

Please present a snow removal plan that will address concerns of sight obstruction including all entrances and exits around this property including the entrance/exit between this property and the high school entrance to IL Route 83 (Main Street) north of the property.

5. In Item #1, discussion centered on the 6" water main. On the utility plan, it appears that this 6" water main will be used as a service connection for Walgreens. The proposed size of the building is 14,800 square feet. This will require the building to have an automatic fire protection (sprinkler) system installed. There is no indication of where this system will connect to a water main or where the fire department connection will be located.

Please submit a more detailed utility plan that will show where the automatic fire protection (sprinkler) system will be tied into a water main and where the proposed fire department connection will be located.

Water Main Map of area.



COMMUNITY HIGH SCHOOL DISTRICT 117
1625 Deep Lake Road
Lake Villa, IL 60046
847-838-7180

January 3, 2011

Village of Antioch
874 Main Street
Antioch, IL 60002

Dear Village Board,

Community High School District 117 has concerns about increased traffic and the safety hazard to students created by the building of a Walgreens at the corner of Rtes. 83 and 173. This letter serves to memorialize those concerns. These issues were presented at the December 8, 2011 Planning and Zoning meeting. The District wishes to continue to work with the Village and Centrum to develop a solution to address the issues raised, herein, and is very hopeful that an agreement can be reached, prior to the commencement of construction, that is acceptable to all.

The District contends the Walgreens development will increase the likelihood of students and auto traffic vying for the same space. We currently have an issue with drivers using our lot as a cut through from Bishop to 173. We believe this abuse will get worse as drivers will be cutting through our lot to get to the new Walgreens as it is such a popular shopping destination. Students traverse this area from the beginning of the school day, for PE classes, until activities and practices are finished in the evening. The District needs to avoid exposure of walking students to vehicle traffic.

We also have a concern that we will need to make costly reconfigurations to our lot and, among other changes, remove a permanent wall due to reduced space available for turnarounds for trucks making deliveries to the school. A large part of our lot will need to be reconfigured to accommodate a desired barrier and the staging of school buses in the early AM and mid PM.

Students travel from the building, across the parking lot, over the east alleyway, then directly past the new Walgreens drive through area to get to the playing fields located on the east side of the campus below the railroad tracks. Again, the District needs to avoid exposure of walking students to vehicle traffic.

The District would like a median/barrier constructed, preferably 1-2 feet tall and a few feet wide that will contain plant material and be aesthetically pleasing. This barrier will delineate school traffic from Walgreens traffic and will allow the District to better control any traffic that may enter its property. It is desirable for this barrier to curve, in such a way, that it will block traffic entering district property, near the drive thru, and interfering with student foot traffic. (see attachment)

COMMUNITY HIGH SCHOOL DISTRICT 117
1625 Deep Lake Road
Lake Villa, IL 60046
847-838-7180

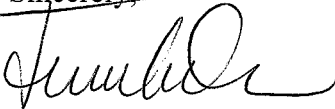
In the event it is not possible to have such a barrier cross the alleyway, the District would like a low profile impediment that would provide traffic control while still allowing any emergency vehicles to utilize the alleyway appropriately. This impediment would only replace the barrier section that crosses the alleyway. Along with the low profile barrier, the District would like signage directing Walgreens traffic to remain on Walgreens property.

It is understood that any barriers will be constructed on CHSD 117 property. Further, the District would like Walgreens to construct all barriers, at no cost to the District, during the construction of its new store. A drawing is included that illustrates the District's request.

We would also like the Village to vacate the unused alleyway that extends east from proposed traffic delineation mark to the fence just west of the railroad tracks. The Village has no obvious use for this alleyway the School District currently maintains it and does not expect compensation for such services.

Student safety is of the utmost priority to the District. Thank you for taking the time to consider the concerns of Community High School District 117.

Sincerely,



Jennifer Nolde
encl

ANTIOCH COMMUNITY
HIGH SCHOOL

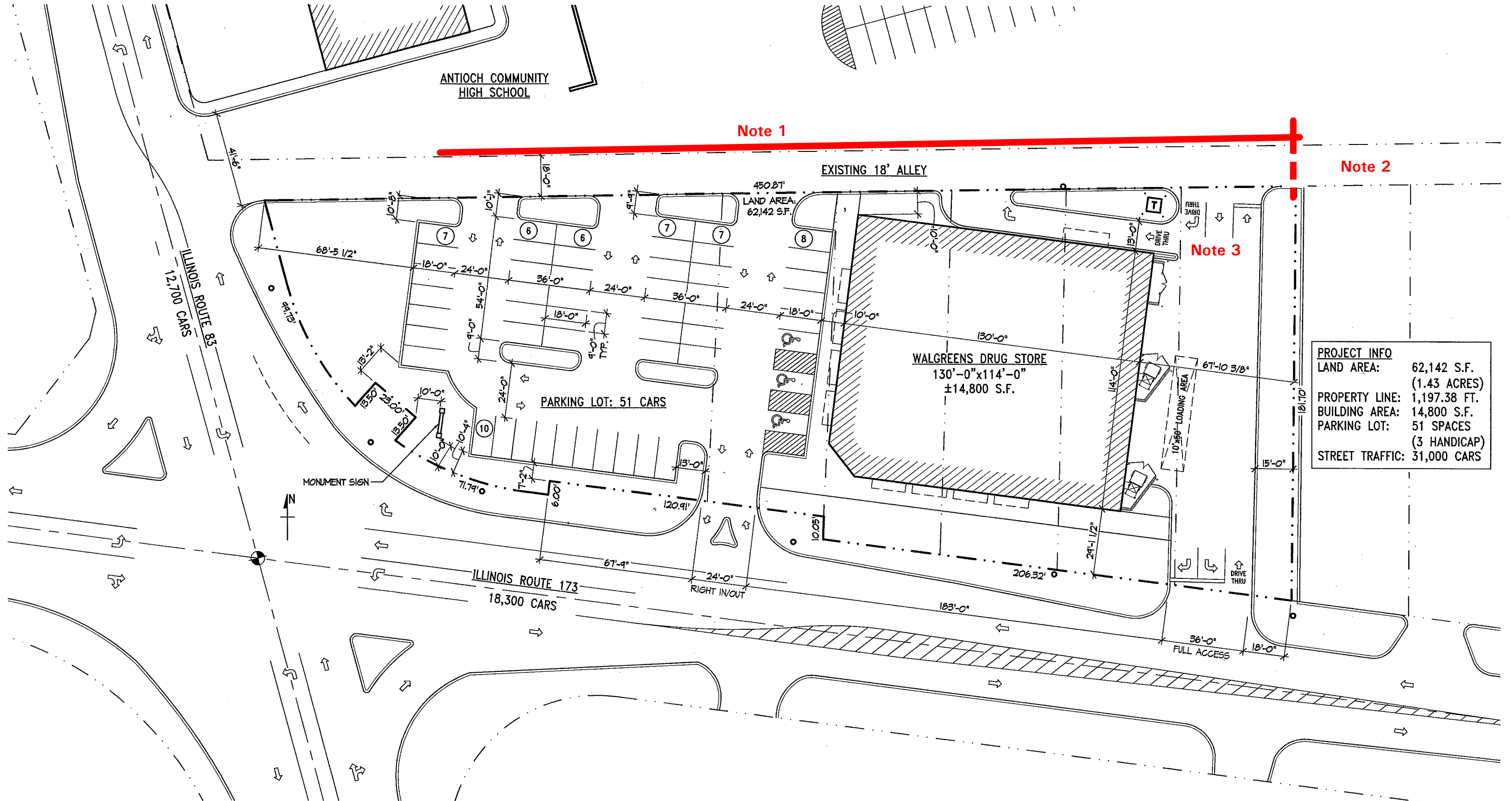
Note 1

EXISTING 18' ALLEY

Note 2

Note 3

PROJECT INFO	
LAND AREA:	62,142 S.F. (1.43 ACRES)
PROPERTY LINE:	1,197.38 FT.
BUILDING AREA:	14,800 S.F.
PARKING LOT:	51 SPACES (3 HANDICAP)
STREET TRAFFIC:	31,000 CARS



A Site Plan

Scale: 1" = 40'-0"

Centrum Properties Inc.

Real Estate Committee Presentation Site Plan
ROUTE 83 & ROUTE 173
Antioch, Illinois

March 23, 2010
10044
JSD

Hirsch Associates LLC
Architecture + Planning



January 4, 2012

9575 West Higgins Road, Suite 400 | Rosemont, Illinois 60018

p: 847-518-9990 | f: 847-518-9987

Mr. Dustin Nilsen
Village of Antioch
874 Main Street
Antioch, Illinois 60002

Re: Community High School District Letter Dated January 3, 2012

Dear Dustin:

We are in receipt of the letter submitted by the school district to the Village of Antioch Board concerning the proposed Walgreens development to be located in the northeast quadrant of the intersection of IL 83 and IL 173. We have broken out our response based upon the major issues discussed in the letter and the proposed modifications suggested by the school board.

Issue Number 1 - Drivers using high school lot as a cut through from Bishop to IL 173.

This is an existing condition independent on the proposed Walgreens store and is unlikely to increase as a result. If desired, we recommend as a possible solution the installation of a gate to be located along the east side of the high school south of Bishop that will prevent traffic from accessing the school lot during the school day. Assuming the Village's emergency services finds this acceptable, Centrum would be willing to install this gate as shown on the attached site plan exhibit.

Issue Number 2 - Conflict between students walking past the Walgreens drive-through area to get to the playing fields.

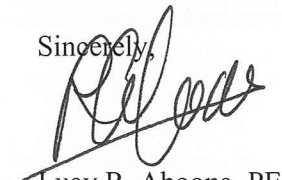
In order to address this concern, the attached site plan shows an island barrier separating the drive through internal access drives from the school's parking lot thus providing the desired delineation while providing for efficient and adequate vehicular access from IL 83 for both the school and Walgreens. In addition, the access drive along the east Walgreens property line has been configured and a "No Right Turn" sign will be added in order to discourage right turns.

Issue Number 3 - Barrier across alley east of the Walgreens site and vacation of alley.

These are issues which we cannot respond to and need to be addressed by the Village since the alley is public property.

Should you have any questions or require additional information, please let me know.

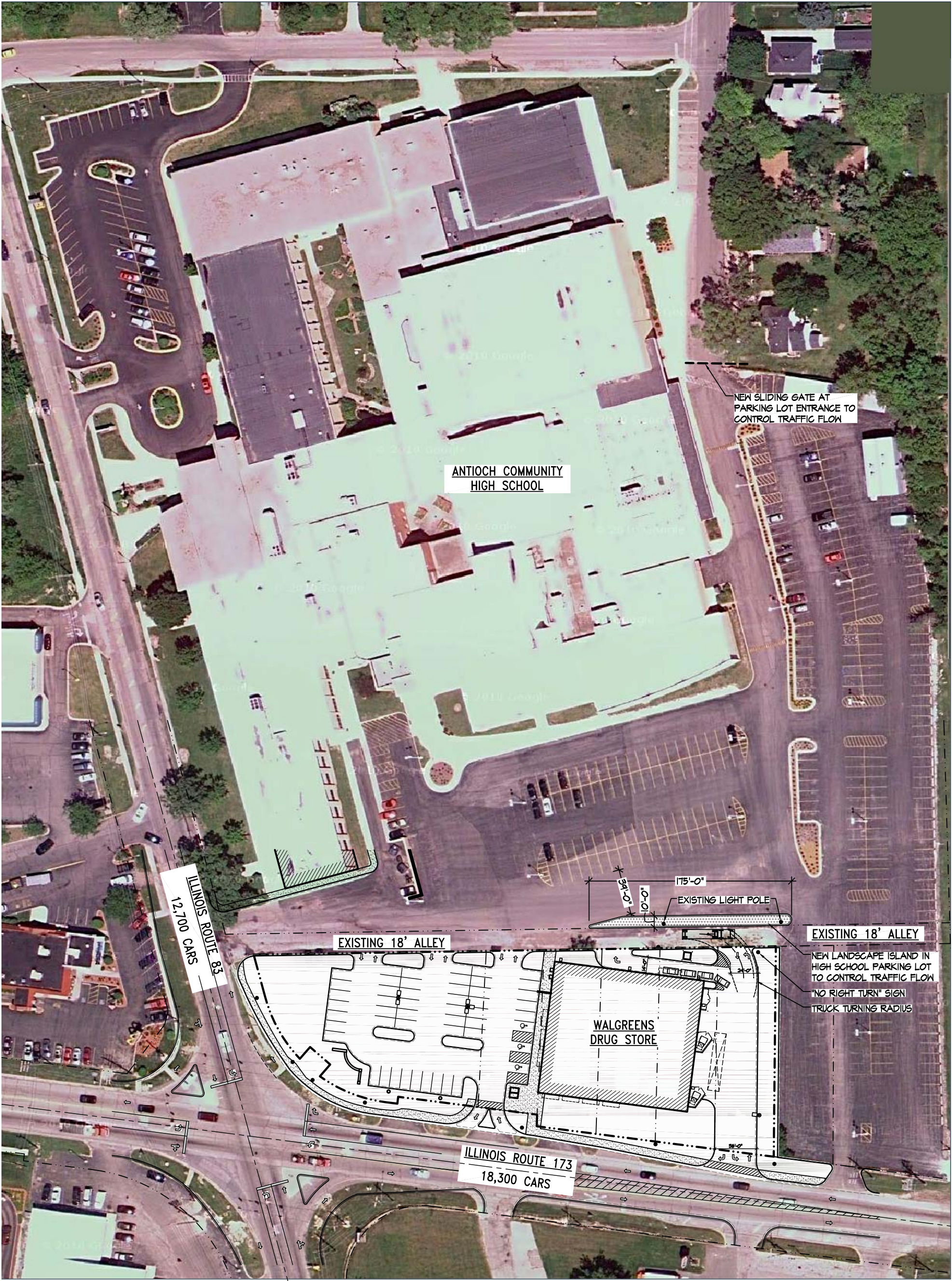
Sincerely,



Luay R. Aboona, PE
Principal

Enc. - Arial photograph with site plan showing proposed modifications to the Walgreens plan and high school property

C: Graham Palmer, Centrum Properties
Howard Hirsch, Hirsch & Associates, LLC
KLOA, Inc. Transportation and Parking Planning Consultants



A Aerial Photo

Scale: 1" = 80'-0"

Centrum Properties Inc.

Antioch Preliminary Submittal
ROUTE 83 & ROUTE 173
Antioch, Illinois

January 5, 2012
10044
JSD

Hirsch Associates LLC
Architecture + Planning



1

CENTRUM

PROPERTIES

January 25, 2012

VIA EMAIL DELIVERY

Mr. Dustin Nilsen

Director of Planning and Zoning

Village of Antioch

874 Main Street

Antioch, IL 60002

RE: NEW PROPOSED WALGREENS – AMENDED RENDERING

Dear Mr. Nilsen:

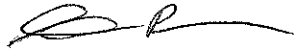
In response to the Village Board's comments at the January 16, 2012 Village Board Meeting, we have significantly revised the building facade to address the concerns expressed by several trustees. We acknowledge that this site is located at the gateway to Antioch's authentic downtown district which is highlighted by significant historic architecture. We have dedicated ourselves to working with the Village Board and Staff to address the concerns by creating a completely customized one of a kind building which we believe is unique and consistent with design elements of the downtown area and the new code. Some highlighted modifications to the previous submitted elevations include:

- The entire building was given an American Craftsman Style design.
- The primary corner element was changed from all stone to brick with stone base and accents.
- A horizontal overhang with Arts and Crafts style brackets were added to the primary corner element.
- Smaller versions of this overhang and brackets were added to the secondary corner elements.
- The stone base was raised at the primary corner element and changed to a random ashlar bond pattern.
- Light fixtures were added on both sides of the entrance.

With these changes we believe that our new design represents the best possible introduction and transition to the authentic historic architecture of downtown. We have worked very diligently to persuade Walgreens to deviate from the previously proposed elevations and we

hope that the Village Board will find the new elevations acceptable. Please feel free to contact me if you have any comments or questions. We look forward to your feedback.

Regards,

A handwritten signature in black ink, appearing to read 'G. Palmer', with a long horizontal flourish extending to the right.

Graham Palmer

Enclosure



Centrum Properties Inc.

Preliminary Design
Route 83 & Route 173
Antioch, Illinois

January 20, 2012
10044
NN

Hirsch Associates LLC
Architecture + Planning



CENTRUM

PROPERTIES

January 5, 2012

VIA MESSENGER DELIVERY

Mr. Dustin Nilsen
Director of Planning and Zoning
Village of Antioch
874 Main Street
Antioch, IL 60002

RE: NEW PROPOSED WALGREENS – AMENDED SUBMITTAL

Dear Mr. Nilsen:

In response to the Memo from Dustin Nilsen dated December 1, 2011 and the Combined Planning Commission and Zoning Board meeting on December 8, 2011, please find enclosed the following amended documents:

- Updated Site Plan, dated January 5, 2012
- Updated Building Elevations dated January 5, 2012
- Updated Sign Exhibit, dated January 5, 2012
- Site Lighting Fixtures
- Updated Landscape Plans, dated January 5, 2012
- Updated Preliminary Engineering Plans, dated January 5, 2012
- Updated Building Rendering, dated January 5, 2012
- Updated Corner Sign Rendering, dated January 5, 2012

In addition, we offer on the following pages, responses to staff and P & Z Board comments. The comments have been provided by Manhard Consulting and Hirsch Associates. Should you have additional comments or questions ahead of January 11th Village Board meeting, please don't hesitate to contact me. I look forward to moving this development forward.

Regards,



Graham Palmer

Enclosure



Hirsch Associates LLC
Architecture + Planning

225 W Hubbard Street, 5th Floor
Chicago, Illinois 60654-4916

T 312.836.0011
F 312.836.0559

W www.hirschassociates.com
E info@hirschassociates.com

January 04, 2012

**Mr. Dustin Nilsen
Village of Antioch
874 Main Street
Antioch, IL 60062**

**Re: Proposed Walgreen Development
NEC Route 173 and Main Street, Antioch Illinois**

Dear Mr. Nilsen

Please find the responses below to the comments in your Development Review dated December 1, 2011 and Elevation/ Landscape mark-ups received on December 13, 2011.

The comments from the Form Based Code and Site Design section of the Development Review letter, providing improvements to the east and north building elevations, adding additional landscaping and using a more historic style of lighting fixture will be addressed in our response to the mark-ups we received on December 13th and as indicated below.

Building Elevation Comments:

Comment No.1: Provide a suspended steel canopy above the windows on the west and south elevations instead of the cantilevered steel canopy:

Response: This has been reviewed with Walgreen's and we agree to make this change. See the updated building elevations and rendered view.

Comment No.2: Infill the areas above the windows within the corner element's stone façade with brick:

Response: After reviewing this request, we believe that the design is much stronger cladding the corner element completely out of stone as depicted in the rendering. Adding the brick will make the stone elements too thin and will diminish the strength of this element. It is intended to read as a separate massing within the façade and the addition of brick will make this element appear to be a series of thin vertical columns.

Comment No. 3: Wrap all parapets back to avoid façade without depth of field:

Response: We have reviewed this situation and do not believe it is necessary. The cornice element will wrap around the corner and continue to the inside face of the adjacent masonry wall. Extending the wall over the roof will require a significant amount of extra structure for minimal impact.



Comment No. 4: Move stone tower element to southeast corner. Wrap tower and materials around to east façade to match material and mass of entry. Use bay in lieu of glazing at base (More faux entry than Northwest corner).

Response: We have developed a masonry bay expression at the southeast corner to match that of the northwest corner, shifting the wall sign to the west. Walgreens will not allow an entrance element anywhere other than the entrance, which we agree with, and the uses within the store will not allow real glass in this area. The cost for providing a fake window element will push this project over budget. We believe keeping the entrance element four bays wide along the south façade, including the current amount of vision glass, is much stronger and more desirable for the Route 173 frontage. In addition, the location of the trash enclosure along the east wall will interfere with the reading of this element as an entry. We have updated the building elevations and rendering to show this change.

Comment No. 5: Consider pilaster/ column and/or course pattern and wainscoting along the east façade.

Response: We have continued the stone base (wainscoting), stone cornice line and horizontal stone band along the entire length of the east and north facades. We are not showing columns or pilasters since the amount of other elements along these facades (trash, fencing, drive-thru, etc) would make it difficult to establish a regular spacing. We believe the changes we have made meet the intent of your comment.

Comment No. 6: Eliminate standing seam metal roofing from drive-thru canopy and use suspended canopy similar in style to the canopies on the rest of the building:

Response: We agree to this change.

Comment No. 6: Provide a material change or bay design at the drive-thru window.

Response: While we do not believe there is a need to do this in a location that is not a corner and that faces the school, we have provided a higher bay expression consistent with the corners of the building at the drive-thru window as requested.

Comment No. 7: Wrap bay from front around to north façade at northwest corner:

Response: We agree to this change.

Landscape Comment:

Comment No. 1: Replace required north hedge (not provided) to 83/173 parking perimeter:

Response: Landscape Plan has been adjusted.

Comment No. 2: Remove fence adjacent to building along alley to improve visibility:

Response: fence has been removed.



Comment No. 3 Provide ornamental site lighting (not shoe boxes)

Response: We have looked into providing a more decorative light fixture for the site lighting, having Cooper Lighting run photometric studies. Based upon the lighting levels required, utilizing all decorative light fixtures will require the addition of four light poles which is cost prohibitive. We are proposing that we keep the shoe box type lighting in the parking lot on the two poles previously shown, but provide two poles with lower, decorative lighting, more similar to the decorative street lighting along Main Street, along the south edge of the parking lot at 173. We have added a sheet showing the design/ cuts of the proposed light fixtures. This compromise will allow the parking lot to be lit adequately and give the decorative appearance requested along the perimeter.

Comment No. 4: Provide decorative sconce down lighting on the building's east and north facade.

Response: The lighting on the building's east and north facades is required to adequately light the service drive and drive-thru areas of the site. If these lights, which are proposed to be projecting downcast lights (not wall packs) are replaced with decorative lighting, additional light poles will be required to meet the general lighting needs which will be cost prohibitive.

Comment No. 5: Incorporate ornamental trees along the south facade of the building.

Response: This has been done.

Comment No. 6: Provide a table on the landscape plan showing the quantities of code required trees and shrubs and provided trees and shrubs.

Response: This has been provided.

Comment No. 7: Show stop bar for westbound 173 and vision triangles at the 173/ 83 and 83/ alley intersections:

Response: This has been shown.

We have provided a new set of design drawings clearly showing the proposed changes. Let us know if you have any additional comments or need any additional information.

Thank You,

**Howard Hirsch AIA LEEDap
President- Hirsch associates LLC**



Civil Engineering

Surveying

Water Resources Management

Water & Wastewater Engineering

Supply Chain Logistics

Construction Management

Environmental Sciences

Landscape Architecture

Planning

January 4, 2012

Mr. Dustin Nilsen
Village of Antioch
874 Main Street
Antioch, Illinois 60002

**RE: PROPOSED WALGREENS DEVELOPMENT
ANTIOCH, ILLINOIS**

Dear Mr. Nilsen:

Enclosed please find the following documents for your review:

- Preliminary Draft Utility Plan
- Calculations from MEP regarding the fire flow demands

Per review comments prepared by Lee Shannon III and dated November 29, 2011, we offer the following:

Comment #1

Fire hydrant located at northeast corner of property (#17-02-03) is an old double 2-1/2" hydrant that is practically unusable. This hydrant is currently a dead end hydrant on a 6" water main that is 500' from the nearest hydrant to the west. Additional hydrants on the south side of the proposed building footprint are on the south side of Route 173. These are more suitable both water pressure and accessible needs. However, to use them requires immediate and total shut down of Illinois Route 173.

I would like to see the following:

- Hydrant #17-02-03 replaced with a double 2-1/2" with a 4-1/2" steamer.
- Extend the dead end hydrant to loop to the south side of Illinois Route 173 water main (12" main).
- Install one additional hydrant between #17-02-03 and #17-01-20 on the 6" main.
- Install one additional hydrant on the southeast corner of the property or in the easement of the north side of Illinois Route 173 nearest the southeast corner of the property.

Response #1

We have enclosed a red line mark up of the preliminary utility plan to show the improvements that we are proposing to make. Our client, Centrum Properties, is proposing to replace Hydrant #17-02-03 as requested and to add the additional hydrant requested along the northern property line. As you can see in the attached calculations from the mechanical engineer the existing 6" water line will provide sufficient flow to support the sprinkler system in the proposed building. Therefore, we are seeking relief from the request to extend the existing 6" main $\pm 250'$ under IL Route 173 to connect to the 12" main south of 173 and to install an additional hydrant in the southeast corner of the property.

**Comment #2**

Trees are required as part of the landscape ordinance. Most of these trees on the conceptual landscape plan are on islands leading into and out of the parking area. In addition, trees are planned to be located along the south side of the building. Electrical, telephone and cable utilizes all are above ground and are located along the north side of Illinois Route 173 (south side of proposed building).

Parking lot trees, especially those on parking islands, shall be of such type that when fully mature, will not impede, obstruct or otherwise cause damage to emergency vehicles that would access such areas. Keep in mind that the trees planted under the utilities should be of such type that will not cause problems at maturity.

Response #2

Comment noted, this will be addressed on the final landscape plan.

Comment #3

It is normal and customary for standalone stores to utilize sidewalk space for the sale of merchandise throughout the year. The current Walgreens store has a propane exchange and a movie dispensing box located on the sidewalk in front of it.

Plans shall be submitted showing the sidewalk and proposed locations and dimensions of such outdoor merchandising items.

Response #3

Please refer to revised site plan provided by Hirsch Associates.

Comment #4

It is typical for all businesses to have their parking lots cleared of snow during the winter months by pushing the snow past the outer perimeter of the parking lot. Based on the Conceptual Landscape Plan, this could pose a problem for pushing the snow past the outer perimeter of the parking area. In addition, if the winter produces a large amount of snow that lingers, snow piles could become sight obstructions along Illinois Route 173 and also Illinois Route 83 (Main Street). Being that this intersection is heavily traveled throughout the year, sight obstructions are a great concern.

Please present a snow removal plan that will address concerns of sight obstruction including all entrances and exits around this property and the high school entrance to Illinois Route 83 (Main Street) north of the property.

Response #4

Comment noted, this will be addressed during the final review process. Please note that snow storage will be proposed in locations that will not create a sight obstruction.

Comment #5

In Item #1, discussion centered on the 6" water main. On the utility plan, it appears that this 6" water main will be used as a service connection for Walgreens. The proposed size of the building is 14,800 square feet. This will require the building to have an automatic fire protection (sprinkler) system installed. There is no indication of where this system will connect to a water main or where the fire department connection will be located.



Please submit a more detailed utility plan that will show where the automatic fire protection (sprinkler) system will be tied into a water main and where the proposed fire department connection will be located.

Response #5

See enclosed draft plan.

If you should have any questions, please do not hesitate to contact me.

Yours truly,
MANHARD CONSULTING, LTD.

Fran Fazio, P.E.
Vice President

FF/Nilsen010412LS110088/Cor

Enclosure

Cc Graham Palmer, Centrum Properties via e-mail
 Howard Hirsch, Hirsch Architects via e-mail

FIRE PROTECTION WATER SERVICE PRESSURE CALCULATION				
Walgreen's Antioch				
1093-C-1				
October 11, 2011				
FLOW TEST INFORMATION				
Static Pressure =		46	psi	
Residual Pressure =		45	psi at	300 gpm flowing
PRESSURE LOSSES		SUBTOTAL		TOTAL
STATIC LOSS FROM STREET TO METER: (Distance in Feet x 0.03)		0	psi	0 psi
SUCTION HEAD LOSS OR GAIN: (Use 6 feet as the depth bury)(Elevation difference x 0.434)		2.5	psi	2.5 psi
PRESSURE LOSS THRU METER: (Based on flow and Meter type, if applicable)		0	psi	2.5 psi
PRESSURE LOSS THRU BACKFLOW PREVENTER (Based on flow and BFP type)		8	psi	10.5 psi
ELEVATION HEAD LOSS: (Height of Building x 0.434)		7.8	psi	18.3 psi
PIPE STATIC LOSS: (Longest run + 20% for fittings) x (0.03 psi loss thru pipe)		3	psi	21.3 psi
PRESSURE REQUIRED AT SPRINKLER: (15 psi for pipe schedule)(8 psi for hydraulic calculation)		15	psi	36.3 psi
MINIMUM REQUIRED PRESSURE AT STREET (Residual pressure from flow test)				45 psi
TOTAL EXCESS PRESSURE:				8.7 psi
GPM REQUIRED:				300.0 gpm
Is fire pump needed ?		Y/N		
COMMENTS:				
<p>The average pressure we get on the flow tests at a light hazard flow of 300 GPM is 45 PSI. There will be some losses due to watermain, piping backflow preventer and with all these losses by our rough calculation, seen above, workpoint will be 36.3 PSI. This will give our building an average of safety factors is 8 PSI to 10 PSI. The 8 to 10 PSI number above is sufficient for operation of the building sprinkler system.</p> <p>From these numbers and volume of flow, we should not need anything larger then the 6" main already supplying the site. Domestic water usage is minimal and the fire protection is the guiding factor. And as seen from the flow information, the 6"watermain can support our building's usage.</p>				

PROPOSED WALGREENS STORE AT ROUTE 83 & ROUTE 173
VILLAGE OF ANTIOCH, ILLINOIS
UTILITY PLAN

Manhard CONSULTING LTD.
800 Woodlands Parkway, Warrenville, IL 60555
630.476.6344 FAX 630.476.6345 manhard.com
Civil Engineers • Surveyors • Water Resource Engineers • Water & Wastewater Engineers
Construction Managers • Environmental Scientists • Landscape Architects • Planners

DATE	REVISIONS	CHECKED BY

- UTILITY NOTES:**
- ALL UTILITY DIMENSIONS ARE TO OUTSIDE OF PIPE OR CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
 - BUILDING DIMENSIONS AND ADJACENT UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL LAYOUT CURRENT AT THE DATE OF PREPARATION. THEREFORE, CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT AND ENGINEER OF RECORD IMMEDIATELY.
 - THE CONTRACTOR SHALL CONTACT JULLIE (1-800-992-0123) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTRACT WITH THE PROPOSED IMPROVEMENTS.
 - ROUTING OF GAS, ELECTRIC AND TELEPHONE SERVICES IS SHOWN AS APPROXIMATE ONLY AND MADE BY RESPECTIVE BASED COMPANIES AND OWNER. CONTRACTOR SHALL CONTACT EACH UTILITY COMPANY AND COORDINATE START OF LOCATIONS FOR ALL UTILITY SERVICES PRIOR TO START OF CONSTRUCTION.
 - CONTRACTOR SHALL EXCAVATE AND VERIFY ALL EXISTING ELEVATIONS AT PROPOSED POINTS, SIZES, CONDITIONS & TO LOCATE ALL UTILITIES AND REPORT TO THE OWNER OF ANY DISCREPANCIES OR CONFLICTS.
 - LIGHTING AND UNDERGROUND CABLE IF SHOWN ON PLANS ARE FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR SPECIFICATIONS AND DETAILS.
 - THE CONTRACTOR SHALL ADJUST FLOW GRADES AS INDICATED ON PLANS.
 - CONTRACTOR TO VERIFY LOCATION, SIZES, AND ELEVATION OF ALL BUILDING SERVICE LOCATIONS WITH ARCHITECTURAL PLANS.
 - ALL UNDERGROUND IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS AND STANDARD SPECIFICATIONS FOR BRIDGE CONSTRUCTION IN THE EVENT OF CONFLICTING GUIDELINES, THE MORE RESTRICTIVE SHALL GOVERN.

SANITARY AND WATER DEMAND SUMMARY

SANITARY FLOW
14,800 S.F. BUILDING X 0.1 GPD/S.F. = 1,480 GPD
1,480 GPD = 15 PE

WATER DEMAND
BASED ON THE WATER FLOW TEST PROVIDED BY THE VILLAGE OF ANTIOCH, THE WATER MAIN ALONG THE NORTH PROPERTY LINE WILL BE SUFFICIENT TO MEET WALGREENS REQUIREMENTS FOR FIRE FLOW DEMANDS.

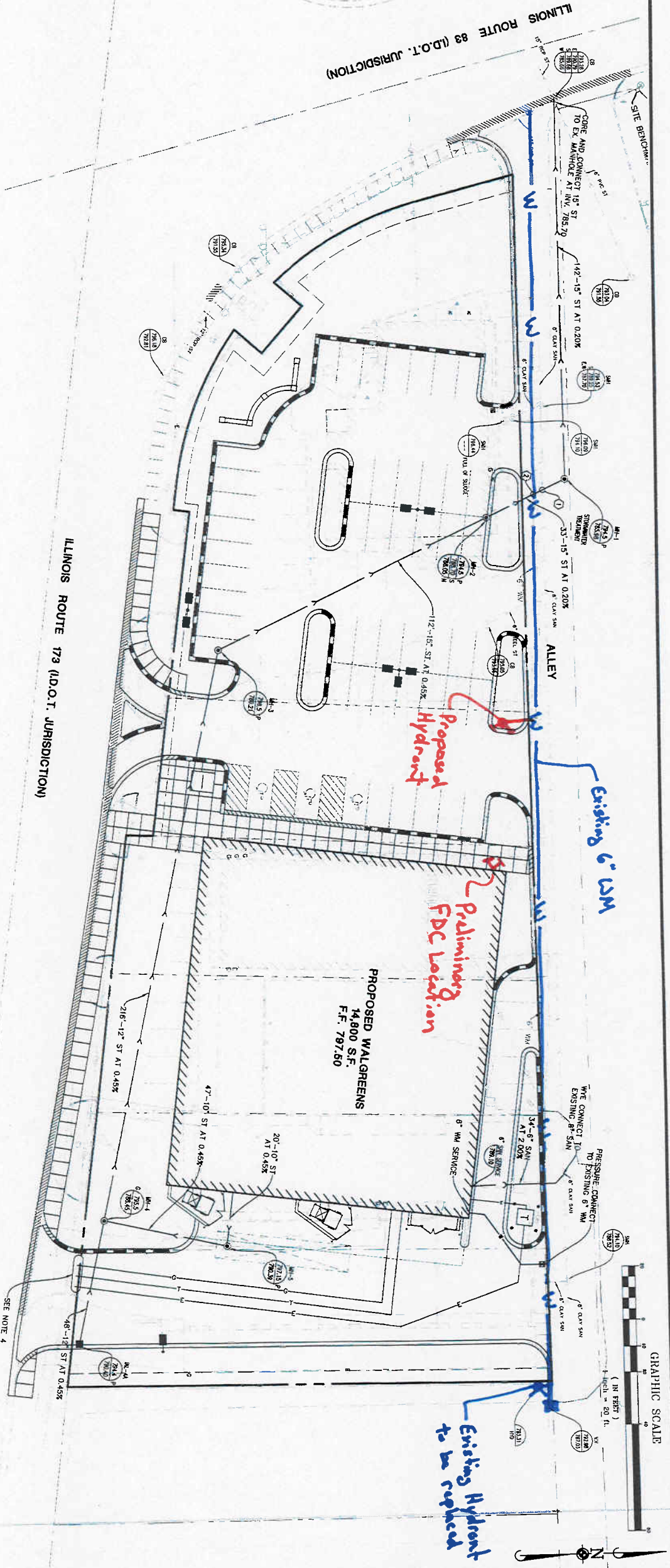
UTILITY CROSSINGS

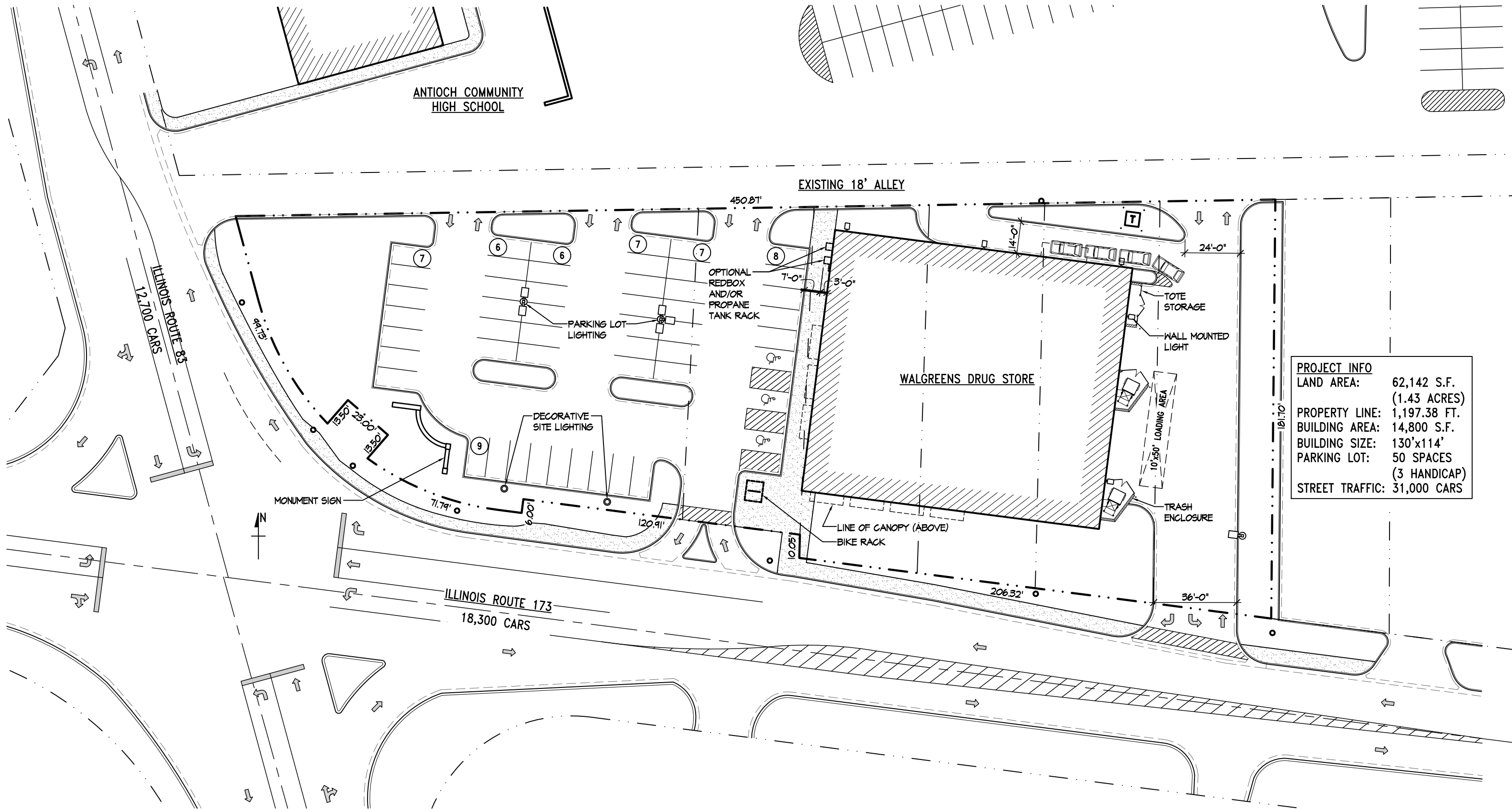
① SAN OVER ST
6" P SAN = ±787.6
1" P SAN = ±787.4
CRITICAL CROSSING

② SAN OVER ST
6" P SAN = ±788.9
1" P ST = ±787.5

*WATER AND SEWER CROSSINGS SEPARATION AND PIPE MATERIAL REQUIREMENTS.

12-15-11 MCL Utility DRAFT





PROJECT INFO	
LAND AREA:	62,142 S.F. (1.43 ACRES)
PROPERTY LINE:	1,197.38 FT.
BUILDING AREA:	14,800 S.F.
BUILDING SIZE:	130'x114'
PARKING LOT:	50 SPACES (3 HANDICAP)
STREET TRAFFIC:	31,000 CARS

A Site Plan

Scale: 1" = 40'-0"

Centrum Properties Inc.

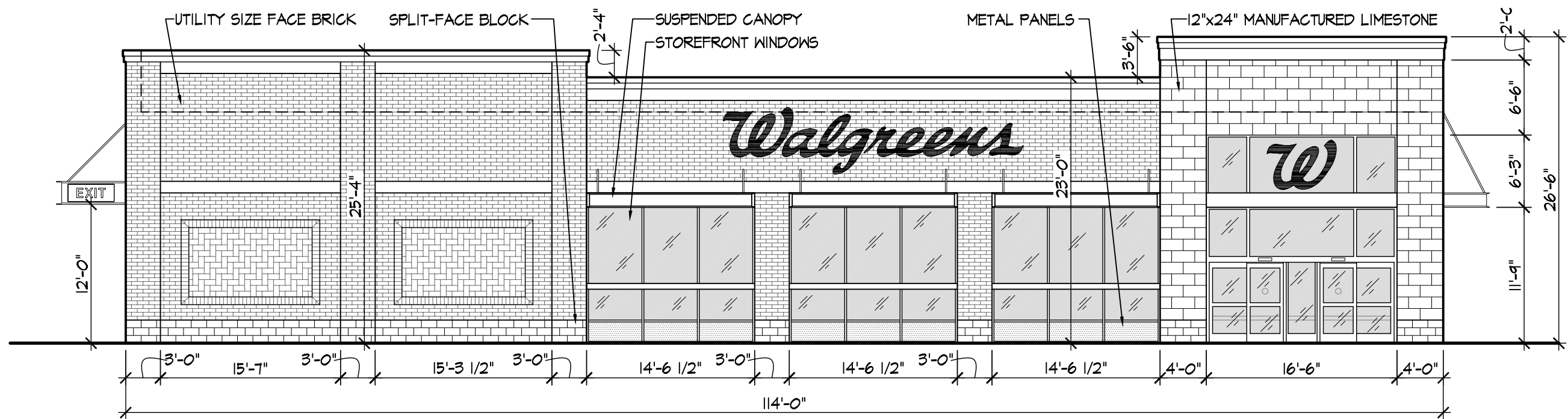
Issued For Village Board Review
ROUTE 83 & ROUTE 173
 Antioch, Illinois

January 5, 2012
 10044
 JSD

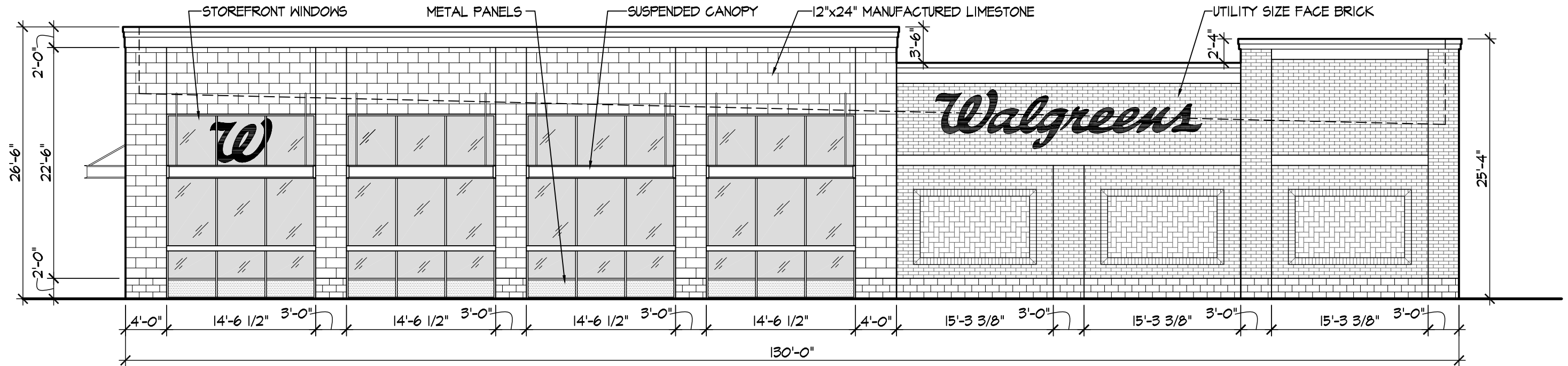
Hirsch Associates LLC
 Architecture + Planning



0



B West Elevation



A South Elevation

Scale: 1" = 10'-0"

Centrum Properties Inc.

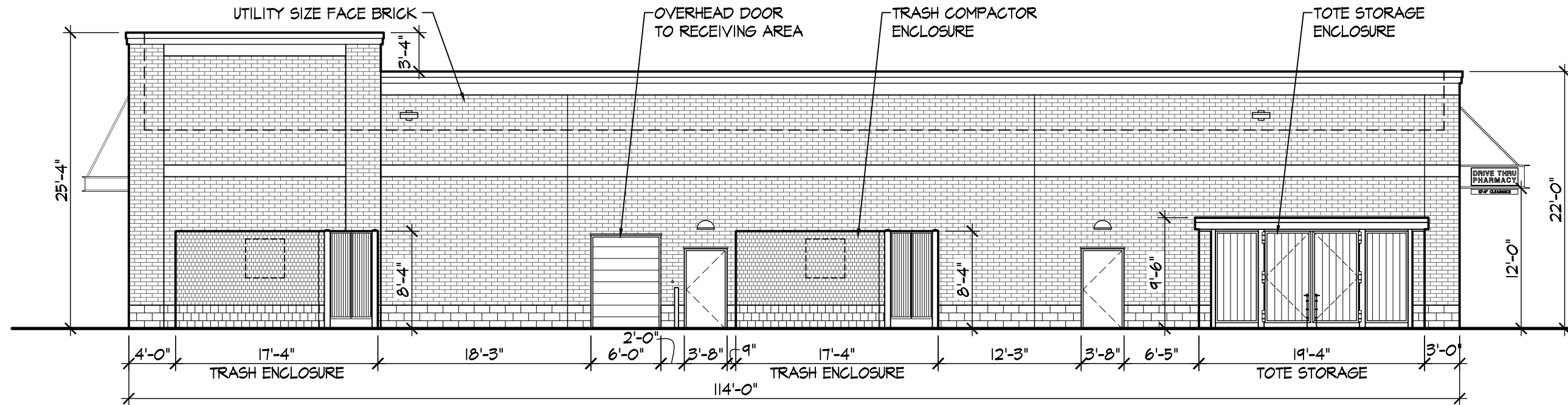
Issued For Village Board Review
ROUTE 83 & ROUTE 173
 Antioch, Illinois

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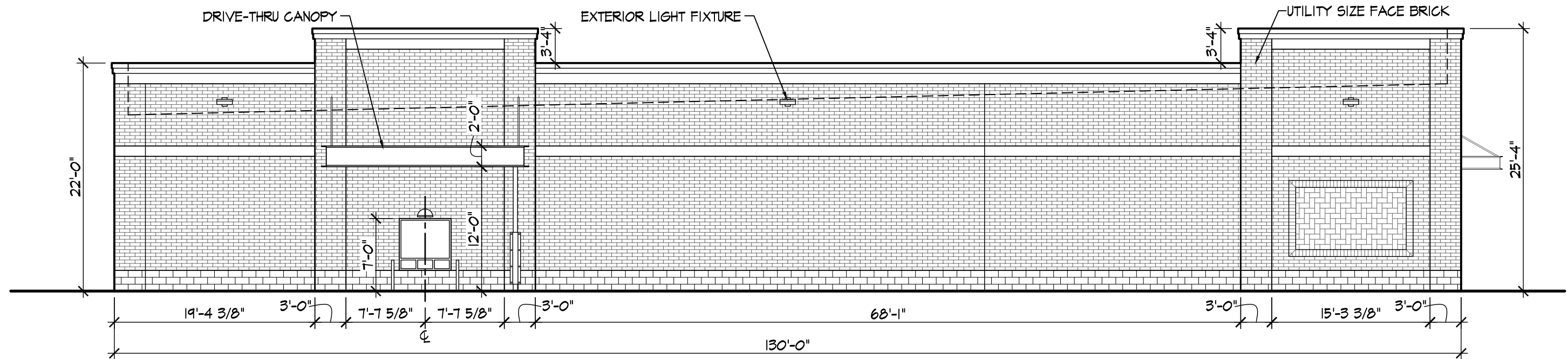
Hirsch Associates LLC
 Architecture + Planning



1



B East Elevation



A North Elevation

Scale: 1" = 10'-0"

Centrum Properties Inc.

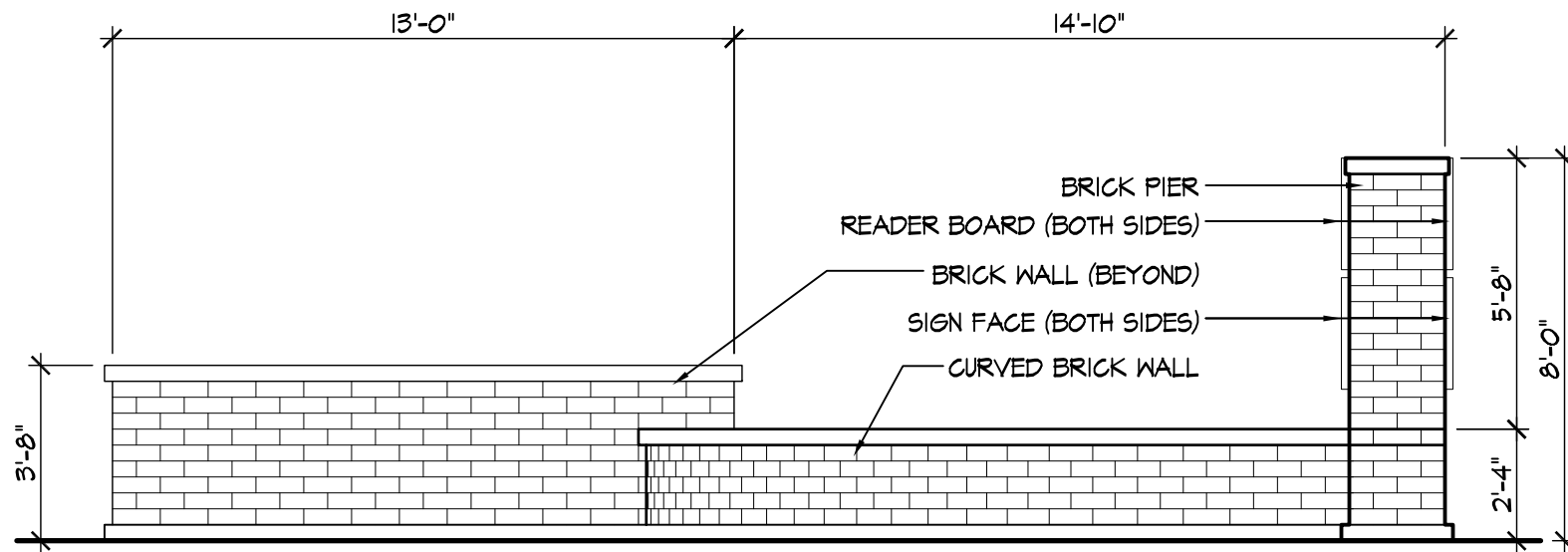
Issued For Village Board Review
ROUTE 83 & ROUTE 173
 Antioch, Illinois

January 5, 2012
 10044
 JSD

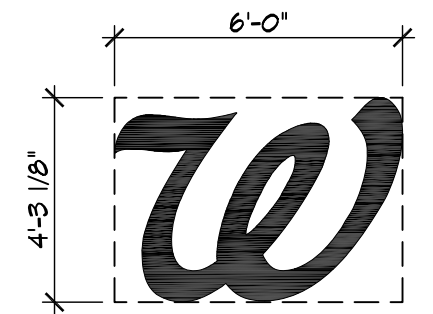
Hirsch Associates LLC
 Architecture + Planning



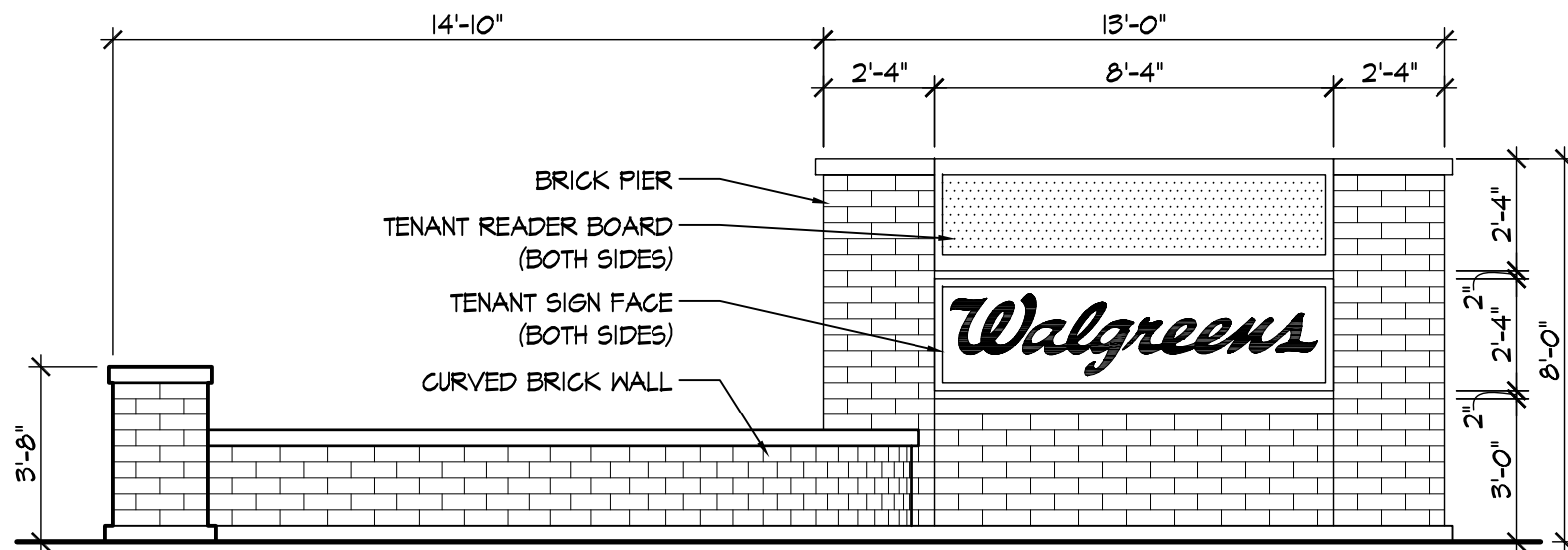
2



B Monument Sign - South Elevation



C Wall Signage Dimensions



A Monument Sign - West Elevation (East Elevation Similar)

MONUMENT SIGN DATA	
SIGN FACE AREA - "WALGREENS"	19.4 S.F./SIDE
SIGN FACE AREA - READERBOARD	19.4 S.F./SIDE
TOTAL SIGN AREA (PER SIDE)	38.8 S.F.
SIGN TOTAL HEIGHT	8'-0"
PROPERTY LINE SETBACK	10'-0"

WALL SIGN DATA	
SIGN AREA - "WALGREENS"	149.8 S.F.
SIGN AREA - "W"	25.6 S.F.
SIGN AREA (PER ELEVATION)	175.4 S.F.
AREA ALLOWED (SOUTH)	80 S.F.
AREA ALLOWED (WEST)	114 S.F.

A Monument Sign - West Elevation (East Elevation Similar)

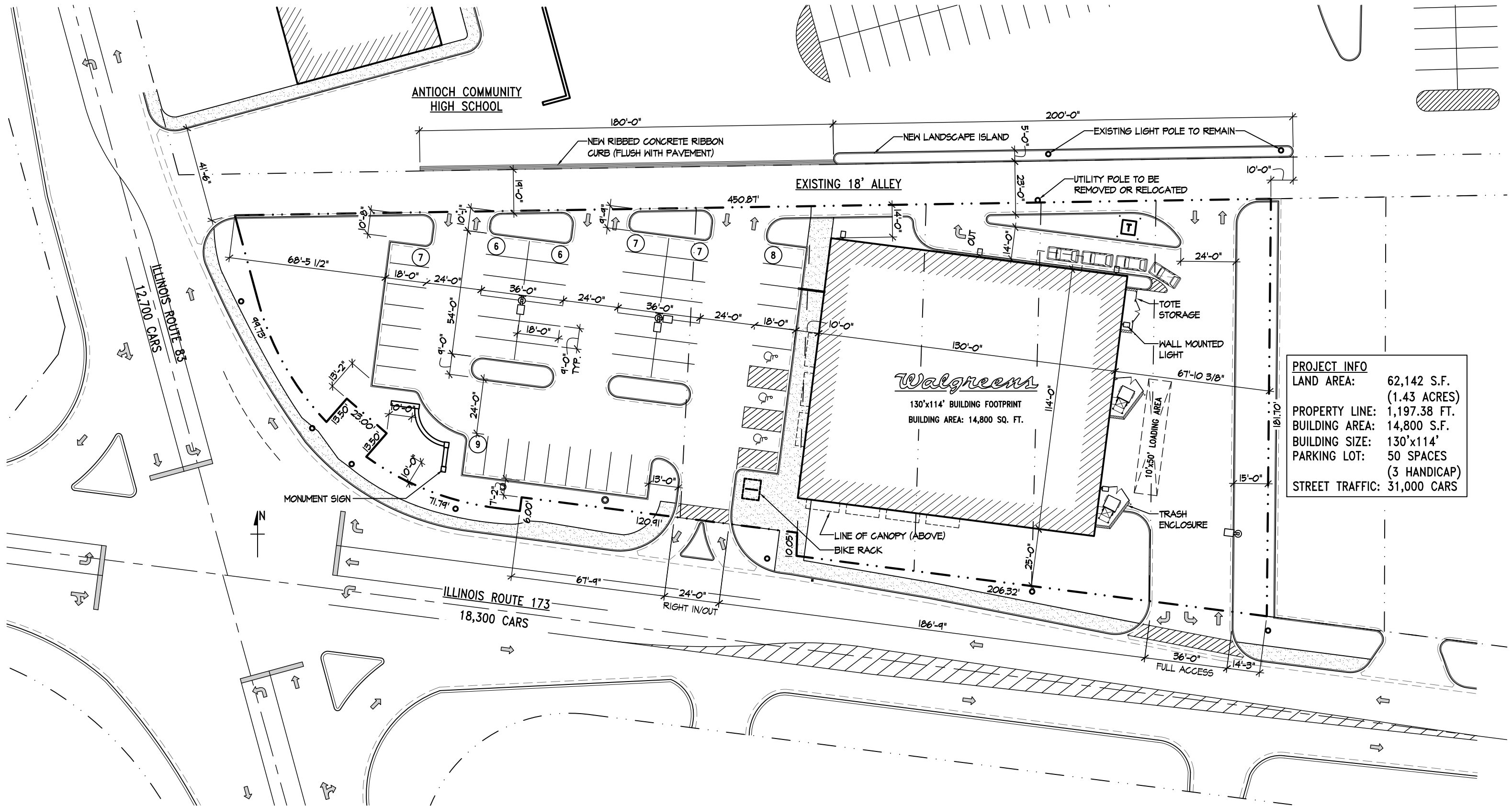
Scale: 1/4" = 1'-0"

Centrum Properties Inc.

Issued For Village Board Review
ROUTE 83 & ROUTE 173
 Antioch, Illinois

January 5, 2012
 10044
 JSD

Hirsch Associates LLC
 Architecture + Planning



A Site Plan

Scale: 1" = 40'-0"

Centrum Properties Inc.

Leasing Site Plan
ROUTE 83 & ROUTE 173
 Antioch, Illinois

January 12, 2012
 10044
 JSD

Hirsch Associates LLC
 Architecture + Planning



0

SITE DATA	
SITE AREA	62,290.80 S.F. (1.43 ACRES)
PARKING PROVIDED	50 SPACES
HANDICAP PROVIDED	3 SPACES
BUILDING AREA	14,800 S.F.

ABBREVIATIONS			
B.O.	BY OTHERS	MH	STORM MANHOLE
B/WALL	BOTTOM OF WALL	NWL	NORMAL WATER LEVEL
B/P	BOTTOM OF PIPE	PROP	PROPOSED
CB	CATCH BASIN	PVC	POLYVINYL CHLORIDE PIPE
CMP	CORRUGATED METAL PIPE	P	PAVEMENT
CONC	CONCRETE	R	RADIUS
DIA.	DIAMETER	RCP	REINFORCED CONCRETE PIPE
DIP	DUCTILE IRON PIPE	R.O.W.	RIGHT-OF-WAY
DIWM	DUCTILE IRON WATER MAIN	SAN	SANITARY SEWER
E	ELECTRIC	SF	SQUARE FOOT
E-E	EDGE TO EDGE	SL	STREET LIGHT
ELEV.	ELEVATION	SMH	SANITARY MANHOLE
E/P	EDGE OF PAVEMENT	ST	STORM SEWER
EX	EXISTING	TBR	TO BE REMOVED
FES	FLARED END SECTION	T	TELEPHONE
F.F.	FINISHED FLOOR	T/C	TOP OF CURB
FM	FORCE MAIN	TBD	TO BE DETERMINED
G	GROUND	T.F.	TOP OF FOUNDATION
G.F.	GRADE AT FOUNDATION	T/P	TOP OF PIPE
HWL	HIGH WATER LEVEL	T/W	TOP OF WALK
HYD.	HYDRANT	T/WALL	TOP OF WALL
INL	INLET	V.B.	VALVE BOX
INV.	INVERT	V.V.	VALVE VAULT
		WM	WATER MAIN

EXISTING	LEGEND	PROPOSED
	STORM SEWER	
	PVC STORM SEWER	
	SANITARY SEWER	
	COMBINATION SEWER	
	FORCE MAIN	
	GAS MAIN	
	ELECTRIC	
	TELEPHONE	
	STORM MANHOLE	
	STORM INLET	
	STORM CATCH BASIN	
	FLARED END SECTION	
	SANITARY MANHOLE	
	HYDRANT	
	VALVE VAULT	
	VALVE BOX	
	GAS VALVE	
	ELECTRICAL TRANSFORMER	
	TELEPHONE PEDESTAL	
	POWER POLE	
	STREET LIGHT	
	SIGN	
	CURB AND GUTTER	
	REVERSE CURB AND GUTTER	
	DEPRESSED CURB AND GUTTER	
	TOP OF CURB ELEVATION	
	TOP OF WALK ELEVATION	
	TOP OF WALL ELEVATION	
	PAVEMENT ELEVATION	
	GROUND ELEVATION	
	RIM ELEVATION	
	INVERT ELEVATION	
	1 FOOT CONTOURS	
	OVERLAND FLOW	
	SWALE	
	RELIEF SWALE	
	SIDEWALK	
	ACCESSIBLE CURB RAMP	
	PROPERTY LINE	
	EASEMENT LINE	
	SETBACK LINE	
	SILT FENCE	
	RETAINING WALL	

- SITE DIMENSIONAL AND PAVING NOTES:**
- ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB OR BUILDING FOUNDATION UNLESS NOTED OTHERWISE. ALL RADII DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL PROPOSED CURB AND GUTTER SHALL BE B6.12. UNLESS OTHERWISE NOTED.
 - ALL CURB RADII SHALL BE 3' MEASURED TO FACE OF CURB UNLESS NOTED OTHERWISE.
 - BUILDING DIMENSIONS AND ADJACENT PARKING AND UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 - IMPROVEMENTS ADJACENT TO BUILDING IF SHOWN SUCH AS TRUCK DOCK, RETAINING WALLS, SIDEWALKS, CURBING, FENCES, CANOPIES, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS, AND TRANSFORMERS ETC. HAVE BEEN SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS, SPECIFICATIONS, AND DETAILS.
 - EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS AS PREPARED BY MANHARD CONSULTING, LTD. ON 3-8-11. CONTRACTOR SHALL FIELD CHECK EXISTING ELEVATIONS AND CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.
 - LOCATION OF PRIVATE SIDEWALKS SHALL BE COORDINATED WITH PROPOSED DOORWAYS. CONTRACTOR TO VERIFY ACTUAL BUILDING PLAN LOCATIONS WITH ARCHITECT/DEVELOPER PRIOR TO CONSTRUCTING THE SIDEWALKS.
 - HANDICAP RAMPS SYMBOLS ARE SHOWN FOR LOCATION ONLY; THEY SHALL BE CONSTRUCTED TO MEET IDOT STANDARD DETAIL 424-001-06 (SHEETS 1 & 2). SEE DETAIL.
 - ALL ROADWAY AND PARKING LOT SIGNAGE, STRIPING, SYMBOLS, ETC. SHALL BE IN ACCORDANCE WITH LATEST STATE OF ILLINOIS STANDARD DETAILS.
 - SOME EXISTING ITEMS TO BE REMOVED HAVE BEEN DELETED FROM THIS PLAN FOR CLARITY. SEE DEMOLITION PLAN FOR ITEMS DELETED.
 - ALL ROADWAY AND PARKING LOT IMPROVEMENTS SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, DEPARTMENT OF TRANSPORTATION, STATE OF ILLINOIS, LATEST EDITION.

LINE TABLE		
LINE	BEARING	LENGTH
L1	N 01°50'43" E	10.05'
L2	S 07°19'07" W	6.00'
L3	N 82°40'53" W	10.37'
L4	N 41°04'51" E	13.50'
L5	N 48°55'09" W	23.00'
L6	S 41°04'51" W	13.50'
L7	N 15°09'31" W	38.32'

CURVE TABLE				
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	123.77'	61.42'	S 68°27'54" E	60.79'
C2	123.77'	61.41'	S 29°22'20" E	60.78'

PAVEMENT LEGEND	
	STANDARD DUTY PAVEMENT 1 1/2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50 2 1/4" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-19, N50 8" AGGREGATE BASE COURSE, TYPE B
	HEAVY DUTY PAVEMENT 2 1/4" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50 2 1/4" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-19, N50 10" AGGREGATE BASE COURSE, TYPE B
	ENTRANCE DRIVE PAVEMENT 2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50 10" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-19, N50 6" AGGREGATE BASE COURSE, TYPE B
	CONCRETE PAVEMENT 6" CONCRETE PAVEMENT 4" AGGREGATE BASE COURSE, TYPE B
	SIDEWALK

PROPOSED WALGREENS STORE AT ROUTE 83 & ROUTE 173

VILLAGE OF ANTIOCH, ILLINOIS

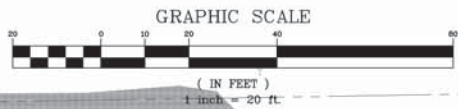
SITE DIMENSIONAL AND PAVING PLAN

PROJ. MGR.: DJ
PROJ. ASSOC.: DM
DATE: 10-13-11
SCALE: 1"=20'
SHEET
1 OF **3**
CEIAN2 110088

PENDING APPROVAL - NOT FOR CONSTRUCTION

Manhard
CONSULTING LTD.
800 Woodlands Parkway, Vernon Hills, IL 60061 ph: 847.634.1550 fx: 847.634.0095 manhard.com
Civil Engineers • Surveyors • Water Resource Engineers • Water & Wastewater Engineers
Construction Managers • Environmental Scientists • Landscape Architects • Planners

DATE	REVISIONS	DRAWN BY
		REH



ILLINOIS ROUTE 83 (I.D.O.T. JURISDICTION)

PUBLIC ALLEY

S 89°05'06" W 450.87'

PROPOSED WALGREENS
14,800 S.F.
F.F. 797.50

ILLINOIS ROUTE 173 (I.D.O.T. JURISDICTION)

PROPOSED RIGHT IN/
RIGHT OUT ACCESS

PROPOSED B6-24
CURB AND GUTTER

PROPOSED FULL ACCESS

January 4, 2012 - 13.43 Draw Name: B:\Gis\Drawings\Drawings\Site\Site.dwg User: jg... Modified By: jg...

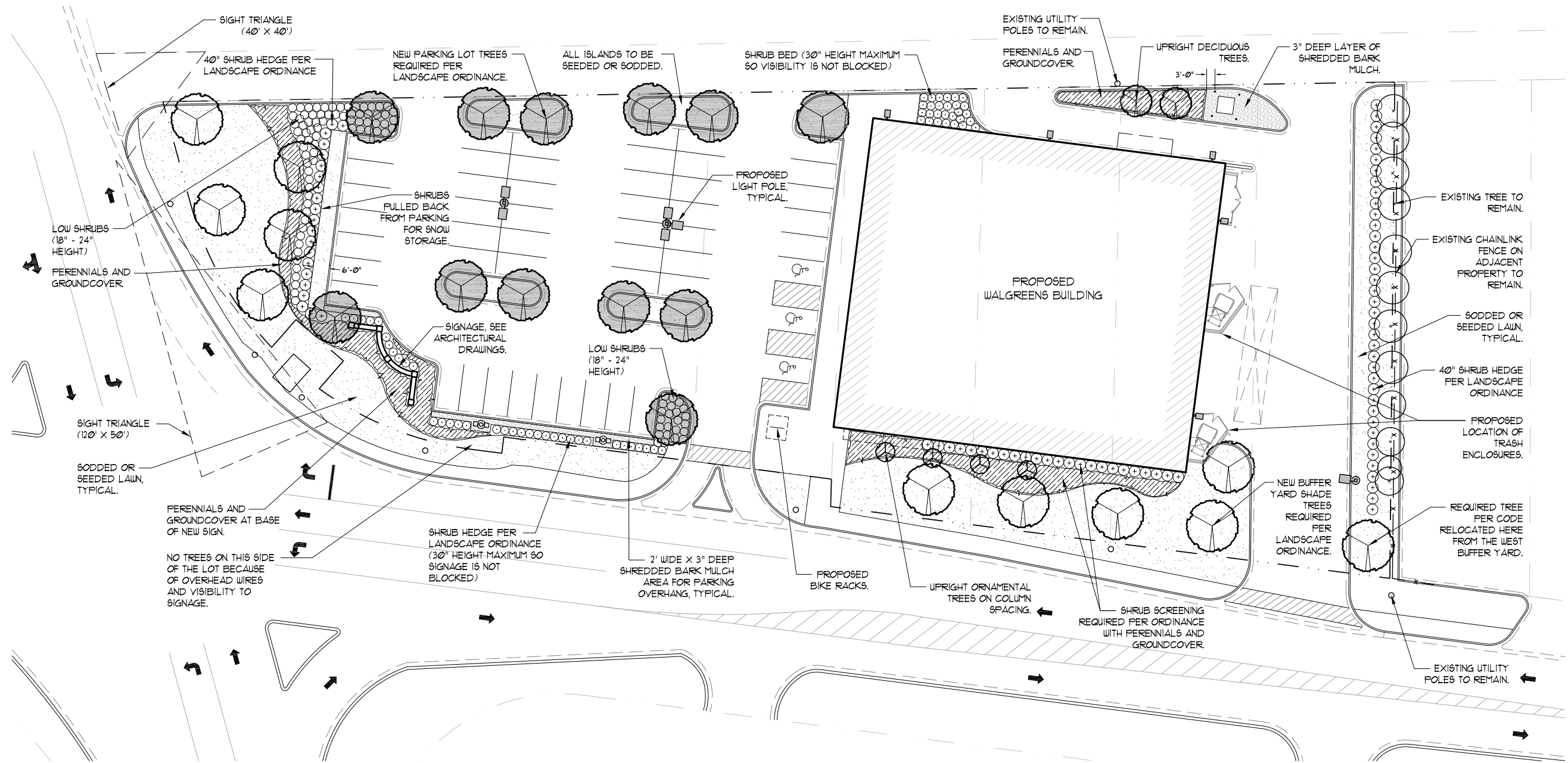


DANIEL WEINBACH
&
PARTNERS, LTD.

Landscape Architects

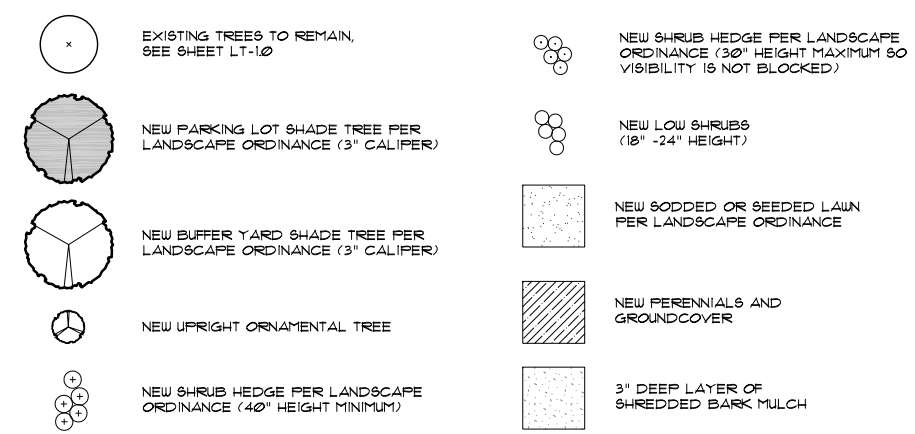
53 W. Jackson Blvd.
Suite 250
Chicago, IL 60604

312 427-2888
www.dwp1td.com



1 CONCEPTUAL LANDSCAPE PLAN
SCALE: 1"=20'-0"

GRAPHICS KEY



NOTE:
REPLACEMENT TREES ARE NOT SHOWN ON THIS DRAWING AS IT IS
DEEMED THAT NONE ARE REQUIRED. SEE THE PRESERVATION
AND REMOVALS PLAN, SHEET LT-10.

PLANT PALETTE

SHADE TREES - 3" CALIPER HONEYLOCUST AUTUMN BLAZE MAPLE PROSPECTOR ELM GINGKO CHANTICLEER PEAR	LOW SHRUBS - 18"-24" HEIGHT / SPREAD ROSE SPP. GRO LOW SUMAC SPIRAEA SPP.
TALL SHRUBS - 36"-48" HEIGHT / SPREAD VIBURNUM SPP. DWARF KOREAN LILAC NINEBARK REDTWIG DOGWOOD PEKING COTONEASTER	PERENNIALS AND GROUNDCOVERS - 1 GALLON / 3" POTS CATMINT DAYLILY SPP. FEATHER REED GRASS PERENNIAL GERANIUM CONEFLOWER SPP. CORALBELLS KOBOLD LIATRIS SEDUM SPP. WINTERCREEPER PERIWINKLE

SITE LANDSCAPE CHART

MATERIAL TYPE	QUANTITY PROVIDED	TOTALS
SHADE TREES (PARKING LOT)	12	25
SHADE TREES (BUFFER YARDS)	13	
ORNAMENTAL TREES	4	243
SHRUBS (40" MINIMUM)	83	
SHRUBS (30" MAXIMUM)	65	
SHRUBS (18" - 24")	95	
PERENNIALS AND GROUNDCOVER	2,150 SQ. FT. (APPROX.)	2,150 SQ. FT.
SEEDDED OR SODDED LAWN	1,620 SQ. YD. (APPROX.)	1,620 SQ. YD.
MULCH (545 SQ. FT @ 3" LAYER)	5 CU. YD (APPROX.)	5 CU. YD.

Revisions		
8.		
7.	ISSUED FOR VILLAGE BOARD REVIEW	01/05/12
6.	RE-ISSUED FOR OWNER REVIEW	12/19/11
5.	RE-ISSUED FOR OWNER REVIEW	12/13/11
4.	RE-ISSUED FOR OWNER REVIEW	10/12/11
3.	RE-ISSUED FOR OWNER REVIEW	10/06/11
2.	RE-ISSUED FOR OWNER REVIEW	10/05/11
1.	ISSUED FOR OWNER REVIEW	09/29/11

Project

WALGREENS

RTE. 173 AND RTE. 83
ANTIOCH, ILLINOIS

Sheet Title

**CONCEPTUAL
LANDSCAPE
PLAN**

Date 09/28/2011	Project No. DWP 11-149
Scale 1" = 20'-0"	Sheet No.
Drawn By AP	L-1.0
Approved WS	



A Monument Sign Rendering Looking Northeast

Not To Scale

Centrum Properties Inc.

Issued For Village Board Review
ROUTE 83 & ROUTE 173
 Antioch, Illinois

January 5, 2012
 10044
 JSD

Hirsch Associates LLC
 Architecture + Planning



VILLAGE OF ANTIOCH, LAKE COUNTY
Department of Planning, Zoning & Building
Mailing Address: 874 Main Street Office Location: 882 - B Main Street
Antioch, Illinois 60002
Weekday Hours: 7:30 AM To 4:00 PM Phone: (847) 395-9462 Fax: (847) 395-9482

FILE NO. PZB _____

MEETING DATE _____

**REQUEST FOR SUBDIVISION PLAT APPROVAL
BEFORE THE COMBINED PLANNING COMMISSION AND ZONING BOARD
VILLAGE OF ANTIOCH, ILLINOIS**
(Submit original plus Twenty Four copies)

P E T I T I O N

**TO: The Chairperson and Members of the Combined Planning Commission and
Zoning Board of Appeals, Antioch, Illinois.**

Petitioners (Names): NRG Antioch 173, LLC _____

certifies that it is the contract purchaser of the following described real estate:

(Attach the Legal Description as shown on Warranty Deed or recent Certified Plat of Survey)

PERMANENT INDEX NUMBER(S), (PIN):	02-17-104-022 (affects part of property)
	02-17-104-023 (affects part of property)
	02-17-104-019 (affects part of property)
	02-17-104-120 (affects part of property)
	02-17-201-014 (affects part of property)

(From latest real estate tax bill)

That said premises are now classified under the Zoning Ordinance as B-2 and B-3 Service and Wholesale Business District and that under said classification the petitioner(s) requests building/operating the following use(s):

Drug Store

Proposed building/ uses are depicted on the attached drawings prepared by: Manhard Consulting, Ltd, dated 10/13/2011, Hirsch Associates, dated 10/19/2011 and Daniel Weinbach and Associates dated, 10/12/2011, and made a part of this petition.

Included with the plat request and an integral part thereof, is a request for:

- ☒ A Special Use pursuant to Section 10.14.9 (D) Criteria for LED
- ☐ A Special Use - Planned Development pursuant to Section 150.105 et. seq.; Concept Plan Review, file #DRC_____.
- ☒ Other - Please describe: Variance for Rear Yard setback – 10.13.2 (Rear Buffer Yard Adjacent to Residential)

Such an amendment will not adversely affect the public health, safety, or general welfare of the community, and will be in conformity with the Comprehensive Plan in that:

Please see attached introductory narrative statement

Other reasons for this request are as follows:

Please see attached introductory narrative statement

(Please attach relevant information concerning other governmental agency reviews of this request, including correspondence, file numbers, background studies, etc.)

Data of Applicant and Owner:

Name of Applicant(s): NRG Antioch 173, LLC

Address of Applicant(s): c/o Centrum Properties, Inc.
225 West Hubbard, 4th Floor
Chicago, IL 60654

Phone: Day: (312) 832-2500

Phone Evening: (847) 612-2935

Property Interest of Applicant(s): Contract Purchaser

Name of Owner(s): WILLIAM T. HUCKER AS TRUSTEE UNDER A TRUST AGREEMENT
DATED DECEMBER 19, 1990 AND KNOWN AS THE WILLIAM T.
HUCKER TRUST AGREEMENT, AS TO AN UNDIVIDED ¼ INTEREST,
RUTH K. HUCKER AS TRUSTEE UNDER A TRUST AGREEMENT
DATED DECEMBER 19, 1990 AND KNOWN AS THE RUTH K. HUCKER
TRUST AGREEMENT, AS TO AN UNDIVIDED ¼ INTEREST AND
LINDA R. HUCKER AS TRUSTEE UNDER A TRUST AGREEMENT
DATED JULY 18, 1986 AND KNOWN AS THE LINDA R. HUCKER
TRUST AGREEMENT, AS TO AN UNDIVIDED ½ INTEREST, as to
Parcel 1

BRUCE GEBERT AS TRUSTEE OF THE BRUCE J. GEBERT TRUST
DATED SEPTEMBER 9, 1993 KNOWN AS TRUST NUMBER 921703,
as to Parcel 2

Address of Owner(s): P.O. Box 413, Lake Villa, IL 60046, as to Parcel 1

267 Route 173, Antioch, IL 60002, as to Parcel 2

(Pursuant to the Village Code as amended by Ordinance Number 94-1-3, the ownership of the property must be disclosed. **If the property is in Trust, submit to the Village Clerk a Certificate of Trust disclosing all the beneficial owners;** If the property is owned by a corporation, submit a letter from the Chief Executive Officer disclosing all the officers of the corporation).

Attorney for the Petitioner:

David Meeks
Becker Gurian
513 Central Avenue
Highland Park, Illinois 60035
847-433-2442
fax 847-433-2025

I (we) acknowledge that any and all drawings submitted, of buildings and other habitable structures are preliminary in nature; they accurately describe the maximum proposed dimensions of the proposed structures. Final details regarding the construction of such structures shall be in full compliance with the technical codes adopted within the Antioch Village Code, and in force and effect at the time of the specific and complete permit application.

I (we) consent to the entry in or upon the premises described in this application by any authorized official of the Village of Antioch, Illinois, during normal working hours, for the purposes of: viewing the site and/or structures related to this request; and the posting, maintaining, and removing such notices as may be required by law.

I (we) certify that all of the above statements and the statements contained in any papers or plans submitted herewith are true to the best of my (our) knowledge and belief.

APPLICANTS:

Rich Palm

(Signature) applicant

10/31/11

date

(Signature) applicant

date

OWNERS:

(Signature) owner

date

(Signature) owner

date

APPLICANT'S
ATTORNEY:

(Signature) attorney

date

=====

OFFICE USE ONLY

REC _____

VBoT _____

ORD _____

FLAT FEE \$ _____

ESCROW DEP. \$ _____

I (we) acknowledge that any and all drawings submitted, of buildings and other habitable structures are preliminary in nature; they accurately describe the maximum proposed dimensions of the proposed structures. Final details regarding the construction of such structures shall be in full compliance with the technical codes adopted within the Antioch Village Code, and in force and effect at the time of the specific and complete permit application.

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I (we) certify that all of the above statements and the statements contained in any papers or plans submitted herewith are true to the best of my (our) knowledge and belief.

APPLICANTS:

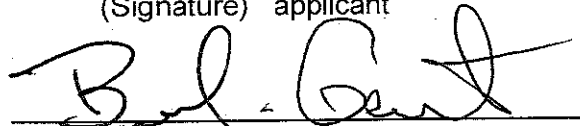
(Signature) applicant

date

(Signature) applicant

date

OWNERS:



(Signature) owner

date

AS TRUSTEE OF BRUCE GEBEL TRUST.

(Signature) owner

date

APPLICANT'S
ATTORNEY:

(Signature) attorney

date

=====

OFFICE USE ONLY

REC _____

VBoT _____

ORD _____

FLAT FEE \$ _____

ESCROW DEP. \$ _____

**Bruce Gebert
267 Route 173
Antioch IL 60002**

October 25, 2011

To Whom It May Concern:

Re: Bruce J. Gebert Trust dated September 9, 1993 known as Trust Number 921703

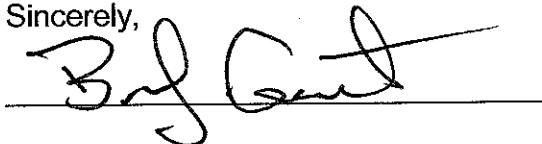
Trustee's Certificate of Beneficial Interest

Bruce Gebert as Trustee of the Bruce J Gebert Trust does hereby certify that his records disclose that the Beneficial Interest for the above captioned land trust is as follows:

Beneficial Interest:

Bruce J. Gebert (100%)

Sincerely,

A handwritten signature in black ink, appearing to read "Bruce Gebert", is written over a horizontal line.

Bruce Gebert as Trustee of the Bruce J, Gebert Trust

I (we) acknowledge that any and all drawings submitted, of buildings and other habitable structures are preliminary in nature; they accurately describe the maximum proposed dimensions of the proposed structures. Final details regarding the construction of such structures shall be in full compliance with the technical codes adopted within the Antioch Village Code, and in force and effect at the time of the specific and complete permit application.

I (we) consent to the entry in or upon the premises described in this application by any authorized official of the Village of Antioch, Illinois, during normal working hours, for the purposes of: viewing the site and/or structures related to this request; and the posting, maintaining, and removing such notices as may be required by law.

I (we) certify that all of the above statements and the statements contained in any papers or plans submitted herewith are true to the best of my (our) knowledge and belief.

APPLICANTS:

(Signature) applicant

date

(Signature) applicant

date

OWNERS:

X Linda R. Huerter
(Signature) owner

date

X _____
(Signature) owner

date

APPLICANT'S
ATTORNEY:

(Signature) attorney

date

=====

OFFICE USE ONLY

REC _____
VBoT _____
ORD _____

FLAT FEE \$ _____

ESCROW DEP. \$ _____

I (we) acknowledge that any and all drawings submitted, of buildings and other habitable structures are preliminary in nature; they accurately describe the maximum proposed dimensions of the proposed structures. Final details regarding the construction of such structures shall be in full compliance with the technical codes adopted within the Antioch Village Code, and in force and effect at the time of the specific and complete permit application.

I (we) consent to the entry in or upon the premises described in this application by any authorized official of the Village of Antioch, Illinois, during normal working hours, for the purposes of: viewing the site and/or structures related to this request; and the posting, maintaining, and removing such notices as may be required by law.

I (we) certify that all of the above statements and the statements contained in any papers or plans submitted herewith are true to the best of my (our) knowledge and belief.

APPLICANTS:

(Signature) applicant

date

(Signature) applicant

date

OWNERS:

Linda R. Hinder

(Signature) owner

date

Dellin J. Hickey

(Signature) owner

10-24-11

date

APPLICANT'S
ATTORNEY:

(Signature) attorney

date

=====

OFFICE USE ONLY

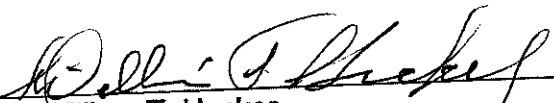
REC _____
VBoT _____
ORD _____

FLAT FEE \$ _____

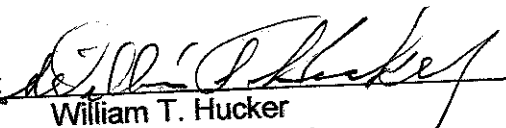
ESCROW DEP. \$ _____

**CERTIFICATIONS AS TO TRUSTS FOR VILLAGE OF ANTIOCH REQUEST FOR
SUBDIVISION PLAT APPROVAL**


I, William T. Hucker, hereby certify that I am Trustee of the William T. Hucker
Trust dated December 19, 1990.

By: 
William T. Hucker
Dated: October 23, 2011

I, William T. Hucker, hereby certify that I am Trustee of the Ruth K. Hucker Trust
dated December 19, 1990.

By: 
William T. Hucker
Dated: October 23, 2011

I, Linda R. Hucker, hereby certify that I am Trustee of the Linda R. Hucker Trust
dated July 18, 1986.

By: 
Linda R. Hucker
Dated: October 23, 2011

LEGAL DESCRIPTIONS

PARCEL 1:

LOTS 1, 2 AND 3 (EXCEPT THAT PART OF LOTS 1 AND 2 TAKEN FOR ROAD) IN JENSEN'S SUBDIVISION OF PART OF LOT 123 IN COUNTY CLERK'S SUBDIVISION IN SECTION 17, TOWNSHIP 46 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 2, 1947 AS DOCUMENT NO. 614306, IN BOOK 29 OF PLATS, PAGE 66, IN LAKE COUNTY, ILLINOIS.

PARCEL 2:

LOTS 4, 5 AND 6 IN JENSEN'S SUBDIVISION OF PART OF LOT 123 IN COUNTY CLERK'S SUBDIVISION IN SECTION 17, TOWNSHIP 46 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 2, 1947 AS DOCUMENT 614306, IN BOOK 29 OF PLATS, PAGE 66, IN LAKE COUNTY, ILLINOIS.

November 28, 2011

VIA E-MAIL

Mr. Dustin Nilsen
Director of Planning and Zoning
Village of Antioch
874 Main Street
Antioch, IL 60002

RE: Proposed New Walgreens at Route 173 and Route 83
Petitioner: NRG Antioch 173, LLC
File No. PZB 11-07
Public Hearing Date: December 8, 2011

Dear Mr. Nilsen:

The Petitioner, NRG Antioch 173, LLC, an affiliate of Centrum Properties, is proposing to build a new Walgreens at the northeast corner of Route 173 and Route 83 (the "Project"). The Applicant filed a Request for Subdivision Plat Approval, including requests for a special use for EMG signage, and a variance for rear yard setback. The Petitioner now amends and restates the variance request as a result of the Village's recent enactment of amendments to Title 10 of the Village Code, specifically the adoption of the Downtown Antioch Form Based Code (the "Code") and the rezoning of the development site to the Commercial Edge District.

The Petitioner now seeks two variances from the Commercial Edge District regulations set forth in the Code at Section 3: Zoning Districts. One variance is to allow building setbacks in excess of 25' from the Route 173 and Route 83 right-of-way. The other variance is to permit the placement of on-site surface parking in front of the building.

Both of the variances from the Commercial Edge District regulations are necessitated by practical design difficulties resulting the size, dimensions and location of the Project site. The Project consists of a new single-story 14,820 square foot Walgreens with a drive-thru pharmacy service window. The site characteristics significantly constrain the options for the building's orientation to the street and traffic circulation around and within the site. The site is elongated and narrowest at the street corner. The Petitioner and Walgreens explored site and building layout alternatives before concluding that the only suitable location for a Walgreens store of this size is on the easterly half of the site, at its widest area. Although set back from the street corner, this building placement will allow Walgreens to incorporate a drive-thru service window, an essential feature for the convenience, safety and comfort of many of Walgreens' customers. The proposed building location also reduces views of the drive-thru, loading and service areas,

CENTRUM
PROPERTIES

which would not be possible if the building were situated closer to the street corner. Although surface parking is located in front of the building, the Project provides yard and parking area shade trees, 40" hedge shrubs and a corner landscape feature along the street perimeter to provide an attractive transitional streetscape design which will help visually introduce the southern part of the Downtown District.

Other practical difficulties led the Petitioner to have to request these variances from the new Code. It took the Petitioner much longer than originally anticipated to be able to formally file its applications for subdivision plat and related entitlements. In particular, a tenant holdout and resulting lengthy difficult lease buy-out efforts significantly and unexpectedly extended the time required to assemble all of the parcels for the entire development site. Consequently, this delayed the Petitioner's ability to ask Walgreens for final corporate sign-off on the site plan and building design. The Petitioner invested significant time, resources and money to prepare a feasible development plan that was appropriate to the site and the Village's expectations, and also was acceptable to Walgreens. To date, the Applicant has invested more than \$150,000 in the Project for non-refundable earnest money, lease buy-out payments, and engineering, architectural and legal fees.

Although the Petitioner began planning the Project nearly one year prior to the Village's adoption of the Code, the Petitioner was mindful that the Village was in the process of evaluating a new form based zoning code regulatory scheme. The Petitioner's architectural and design team reviewed the draft code and prepared a Project plan that embodies the high-quality site and building design principles that have been expressed in the draft code revisions and in the final enacted Code. From a practical standpoint, at the time the Petitioner was assembling the site, designing the Project and preparing the plat and building architecture, changes in the applicable zoning regulations were a possibility but not a certainty. But for the delay caused by the tenant holdout, the Petitioner would have filed its application prior to adoption of the Code.

Finally, the Petitioner reiterates that the variances will not adversely affect the public health, safety or general welfare of the community in that:

- 1) The drug store use will be beneficial not injurious to the current property uses in the immediate vicinity. It will complement neighboring uses in the area and help enhance property values along Route 173;
- 2) The Project will not impede the normal development and improvement of the surrounding property;
- 3) The Project will improve current access ways, drainage, utilities, and other necessary facilities;
- 4) The Petitioner has provided adequate measures to minimize traffic congestion in the public streets by removing existing access points from Route 173; and
- 5) The proposed plan of development complies with the objectives of the Antioch Comprehensive Plan.

The Project will be beneficial to the Village of Antioch. By increasing sales tax and property tax revenue, as well as by improving the retail experience for residents of Antioch and the surrounding area, the Project will foster the beautification of the retail corridor at the southern gateway to Downtown Antioch. The Project is a wonderful opportunity to begin the

redevelopment of this transitional area of Downtown Antioch in a way that supports and embodies the objectives and guiding principles expressed in the Downtown Antioch Form Based Code.

For all of the above-stated reasons, as well as the reasons set forth in its applications and supporting documentation, testimony and other evidence, the Petitioner respectfully requests that the Planning and Zoning Board recommend approval of the Petitioner's applications for subdivision plat, special use and variances, as amended.

Sincerely,

A handwritten signature in black ink, appearing to be 'Graham Palmer', with a stylized 'G' and 'P'.

Graham Palmer

Trustees
Dennis B. Crosby
Mary C. Dominiak
Jay Jozwiak



Trustees
Scott A. Pierce
Ted P. Poulos
George C. Sakas

Lawrence M. Hanson, Mayor
Candi L. Rowe, Village Clerk

DRAFT

January 6, 2012

To: The Honorable Larry Hanson, Mayor; and
Members of the Village Board of Trustees

From: Vern Burdick, Chairmen
Combined Planning and Zoning Commission

RE: Request for Variances from 10-10 and 10-06, of the Village Zoning Code Form Based Code Requirements and Landscaping Buffers, a Special Use petition for the installation of an Electronic Message Graphic per section 10-14, and a preliminary subdivision plat approval upon the petition of NRG Antioch 173; PZB 11-07

The Combined Planning Commission and Zoning Board conducted a public hearing on December 08th, 2011 following notification as required by State Law and Village Ordinances to consider a variance, special use, and preliminary plat. Upon closure of the hearing the Planning and Zoning Board recommended approval of the three petition requests pursuant to Title 10-15 of the Village Code.

Centrum Properties, Howard Hirsch Architects, and Manhard Consulting provided presentations regarding the application. The NRG 173/Walgreen's proposal entails the redevelopment of the site now comprised of the Sunset Motel, the Squire Restaurant, and Multi-tenant commercial building on the northeastern corner of Illinois Route 173 and Route 83. The site consists of approximately 1.4 acres of commercially zoned property (previously B-3 service and Whole Sale and now Zoned Commercial Edge). As depicted in Plate 7 of the Village's Comprehensive Plan, the site is identified as future Commercial Development.

Representatives from School District 117 expressed concerns over cut through traffic that currently comes across the property and from Bishop Street. The applicant stated that it would review the matter with its site design and traffic engineers and work with the school.

Dustin Nilsen, Director of Community presented his report. He summarized the standards for variances, special uses, and preliminary platting requests listed under Title 10, Chapter 15, and Title 11 of the Village Code, made the staff findings, and recommendation for approval with the condition that engineering issues be satisfied prior to the petition and recommendation be heard before the Village Board.

The three land use requests from the petition are described as followed:

Subdivision:

The Village Subdivision Code states that wherever any subdivision of land shall be laid out within the incorporated limits of the village or within contiguous territory not more than one and one-half (1 1/2) miles beyond the incorporated boundary of the village, the subdivider or his agent shall submit both a preliminary and a final subdivision plat to the plan commission for their approval. Since the property consists of multiple parcels the Village subdivision code allows for the consolidation of parcels and acts as the vehicle for the dedication of easements for utilities and ingress/egress for emergency vehicles.

Variance:

The developer has petitioned for a variance from the Form Based Code requirements, due to existing site constraints and the fact that much of the site design work and conceptual review process, as required by Village Code had been completed prior to the Code's Adoption. Changes to the plan were made throughout the process to be sympathetic with the form code requirements, but the site layout still has departures that must be documented to be consistent with Village entitlement regulations.

Special Use for an Electronic Message Graphic:

Per 10-14 of the Village Code, A permit to erect or modify an EMG shall not be granted, unless a special use has been approved by the Village Board of Trustees in accordance with special use process as established by the zoning code. The applicant seeks to install an EMG on the 83 intersection corner facing southwest, as depicted in Tab 18, drawing prepared By Hirsch and Associated dated October 19th, 2011.

Based upon the review of the petition, testimony provided at the hearing, and relevant code criteria of Title 10 and 11 of the Village Code the Planning and Zoning Board unanimously recommends the approval of the variance, special use for an electronic message graphic, and the preliminary plat of subdivision with the following conditions;

- 1) The Architecture be revisited to include additional detailing on the eastern and northern facing elevations.
- 2) The applicant review the concerns of the school
- 3) The site lighting proposed be decorative in nature
- 4) Resolution of outstanding engineering issues

Respectfully submitted,

Vernon Burdick, Chairman
Combined Planning Commission and Zoning Board



MEMO

TO: Vern Burdick, Chairman; and Members of the
Combined Planning Commission and Zoning Board

FROM: Dustin Nilsen, AICP
Community Development Director

DATE: December 1, 2011

RE: Proposed preliminary plat of subdivision, Special Use request for an Electronic Message Graphic (EMG), and Variance from perimeter landscape buffers and Form Based Code Design Standards; NE corner of Rt.173 and Route 83; NRG Antioch 173, LLC; PZB11-07; **RECOMMENDATION TO APPROVE WITH CONDITIONS.**

BACKGROUND

This report is in preparation for the P&Z Board's meeting scheduled for Thursday, December 08; 2011 7:30 PM.

Recent Site Visit: November 30, 2011.

Size of Site: Approximately 1.43 Acres

*Existing Zoning: CE Commercial Edge; Formerly B-3, Service and Wholesale

*Adjacent Zoning: North: R-2, Single Family Residential
South: B-2, General Retail
East: B-2, General Retail
West: B-3, Service and Wholesale

*See ATTACHMENT #1 for Immediate Vicinity Zoning Map

Existing Use: Various Squire, Sunset Hotel, Multi-tenant Commercial

Adjacent Uses: North: Antioch High School
South: Jerry's Rock and Roll Drive In
West: McDonalds
East: District 117 Antioch High School Parking Lot

REVIEW COMMENTS:

As a part of the preliminary plat request the applicant has requested three zoning motions.

1). A Special Use Request for an Electronic Message Graphic

2). A variance from Title 10, Chapter 13, Section B4. 4. Side and rear buffer yards shall be a minimum of at least fifteen feet (15') in width, and include a forty inch (40") high hedge for the entire length of the buffer yard, except for motor vehicle service facilities and commercial uses with drive-up or drive-through facilities. These facilities shall be improved and maintained with a six foot (6') high, one hundred percent (100%) opaque fence the entire length of the buffer yard.

3). A Variance from the Village's Form Based Code Title 10-10 of the Village Code

After discussions and contracts to control the property were in place, the initial concept plan was reviewed by staff in September 2011. Amongst others, issues raised during the meeting included traffic access points, internal circulation, standards for Electronic Message Graphics, and the pending, but at that time unadopted form based code, landscaping, and architecture. The following is a brief summary of the zoning and subdivision issues identified by staff in the review of the preliminary plan.

General Land Use and Zoning Designations. The Walgreen's proposal is a four single lot commercial subdivision. The development site consists of approximately 1.43 acres of incorporated and commercially zoned property located on the northeastern corner of Illinois Route 173 and Route 83. As depicted in Plate 7 the Village's Comprehensive Plan, the site is identified as future Commercial Development.

Plat Request. The Village Subdivision Code states that wherever any subdivision of land shall be laid out within the incorporated limits of the village or within contiguous territory not more than one and one-half (1 1/2) miles beyond the incorporated boundary of the village, the subdivider or his agent shall submit both a preliminary and a final subdivision plat to the plan commission for their approval. The subdivision plats and all procedures relating thereto, shall in all respects be in full compliance with these regulations.

Electronic Message Graphic: Per 10-14 of the Village Code, A permit to erect or modify an EMG shall not be granted, unless a special use has been approved by the village board of trustees in accordance with special use process as established by the zoning code. The applicant seeks to install an EMG on the 83 intersection corner facing southwest, as depicted in Tab 18, drawing prepared By Hirsch and Associated dated October 19th, 2011.

Standards for EMGs are as followed: Staff comments on each item are in *italics*.

1. All EMGs shall be accessory to a principal structure and use and shall be located on the same premises as the structure and parking. An EMG may contain noncommercial messages.

The sign is accessory to the Walgreen's retail structure.

2. No EMG shall be allowed in residential zoning districts or shall face a single-family zone district or use.

The zoning designation is commercial, along with its neighboring structures.

3. An EMG shall be restricted to premises with an individual street frontage of an IDOT designated strategic regional arterial route greater than four hundred fifty (450) linear feet.

The site is located on an SRA and has 450 lineal feet of frontage.

4. No EMG shall be greater than eight feet (8') tall, as measured by the methodology of this chapter.

The proposed EMG is 7'4"

5. Each EMG sign face be antiglare and shall not exceed a total of twenty five (25) square feet. The square footage of each face shall be counted against the total area of all signage allowed for the premises.

The EMG face is 19.4 square feet and the total monument sign area is 38.8 feet. Allowable monument sign area per code is 40 square feet.

6. No EMG shall be located within five hundred feet (500') of another EMG, nor shall it share the structure of any other reader board or changeable copy sign.

So long as the existing Walgreen's EMG is removed the EMG shall comply with the spacing requirements. The next nearest EMG is approximately 505 feet to the north located at the Antioch High School.

7. No additional EMGs shall be allowed along Main Street between North Avenue and Illinois Route 173; or between Anita Avenue and Hillside Avenue (generally known as the form based overlay zone). Existing EMGs will be allowed to be maintained in current state under good repair. Replacement of components is allowed. If modifications to the sign are required, all applicable design standards shall apply unless waived by the village board. If any nonconforming existing EMG sign is damaged or deteriorated so that repairs would cost as much as fifty percent (50%) of the value of the sign, the sign may be repaired only if it is brought into conformance with this chapter.

The Applicant has requested a variance to the requirement based upon the timing and adoption of the form based code which post dated concept plan submissions and application process. Staff recommends that the removal of the existing pole mounted EMG be reviewed in consideration of the "additional" provision listed above, to comply with the spirit and intent of the code.

8. All EMGs shall be mounted in monument style bases that are at least as wide as the sign face, at least two feet (2') tall, and composed of a natural masonry finish such as brick or stone which matches that used on the associated principal structure. Alternative materials may be considered by the planning commission and village board if they are found to be consistent with the architecture of the principal structure.

The proposal complies with the masonry and monument provisions.

9. All EMGs shall be located in a minimum four hundred (400) square foot landscape area that ties into the overall site and incorporates a combination of berming, landscaping, and decorative hardscape.

The proposal includes the allotted landscape area.

10. An EMG electronic message board component shall not exceed fifty percent (50%) of the sign structure, and shall include a nonilluminated background. This area shall be consistent with the architectural design of the overall sign and may contain halo or indirectly lit, pin mounted, individual internal illuminated or routed lettering.

The proposal complies.

11. An EMG shall maintain a static display time for each message for a minimum of twenty four (24) hours. The change of message shall occur simultaneously for the entire sign face. No animation of any type, including, scrolling, dissolve, fade, or flashing light, or "spell on" display mode is allowed on any EMG. The sign shall have no revolving, flashing, moving, rotating, or similar intermittent lights.

The applicant shall agree to the operational limitations.

12. Electronic signs shall not exceed a maximum illumination of five thousand (5,000) nits during daylight hours, and one thousand (1,000) nits during nighttime hours. All EMGs shall include an auto dimming sensor that self-adjusts to changing ambient light conditions.

This shall be confirmed at the time of permit and incorporated into the ordinance affidavit.

13. Any malfunctioning EMG must be turned off or display a blank screen until repaired.

N/A

14. All electrical equipment used to operate or install an EMG must be UL listed.

N/A

15. All electrical power to an EMG sign must be supplied via underground carrier, inside approved conduit, include tamper resistant hardware and software, and must be installed according to the village building code.

Compliance check upon permit

16. All EMG signs shall be kept in good operating condition and maintained with good external appearance.

N/A

17. Any owner or operator of an EMG shall be required to submit a signed and sworn affidavit, stating that they are the lawful owners or the owners' authorized representative; that they understand the above conditions; and shall operate authorized EMG in strict compliance with above requirements. The failure of any operator and/or owner to comply with any of the above criteria shall be deemed a violation of this chapter and shall result in fines or revocation of the owner's special use permit. Owner agrees to indemnify the village if suit arises over the installation and operation of the respective sign. If third party confirmation is required to demonstrate compliance with the above standards, the owner or operator of the sign shall agree to cover any and all costs incurred by the village.

This provision shall be included into any approval ordinance.

Buffer Yard Variance Title 10, Chapter 13, Section B4.: Since the high school is zoned residential (R-2), the Zoning Code requires that a landscape buffer yard be installed at a minimum of 15 feet when a 40" hedge row and fence is incorporated into the yard. Staff supports the variance, but believes that the materials and landscaping that would have been installed, be incorporated into the street frontage buffers along 83 and 173. As part of the petition, this variance must be advertised and the case made by the applicant to demonstrate the practical design difficult and hardship in order for a finding to be made on the matter and forwarded to the Village Board.

Form Based Code and Site Design: Since the high school is zoned residential (R-2), the Zoning Code requires that a landscape buffer yard be

Architecture: The applicant has submitted initial architectural elevations. Staff expressed concerns over the compatibility and design of the proposed building, submitted architecture alternatives for various Walgreen's, and the Form Code design parameters for the petitioners review. In response, the petitioner has substantially revised the renderings and continues to work on the architecture with staff. Revised renderings will be presented based upon the comments.

Due to the visibility of the structure, staff recommends that the eastern elevation, especially at the southern limits include an architectural feature that balances the façade and improves the appearance from the south. In addition, the building should have four sides of architectural treatment, which includes the cornice, bays, and wainscoting on the north to be compatible with the southern and western facing elevations.

Landscape: Route 83 and 173 are the highest profile arterials within the Village and through the design guidelines adopted as part comprehensive plan, demand substantial landscape treatments. The applicant has met with shade tree installation standards, but due to the infill nature of the site, the 24 ornamental tree plantings cannot be met in the limited area without becoming visibility obstructions. As an alternative, staff recommends

that four ornamental trees be placed along the southern building elevation between the architectural features of the building and the shrub plantings be greatly increased at the corner monument and along the southern and western perimeters to act as parking lot screening to compensate for limited space available. .

Lighting: Lighting should be decorative in nature and represent the historic character that the structure embodies. Rather than typical box lighting staff recommends the use of historic lighting styles that stratify proper illumination standards and improve the aesthetics of the site.

Site Access: The site has 6 curb cuts at this time. The applicant has reduced the number to 2 full movement access points and a right in right out location on 173. Discussion with curb cut consolidation with the school have occurred, and staff requests the applicant summarize the findings in the traffic report to assure that anticipated traffic can be handles at the prescribed locations.

Life Safety Comments: These are included as an attached to the report below.

RECOMMENDATION

I recommend that the P&Z Board consider a motion to approve the petitions but only upon the condition that the applicant makes technical corrections subdivision plan site design, prior to have the Planning and Zoning Boards recommendation heard before the Village Board.

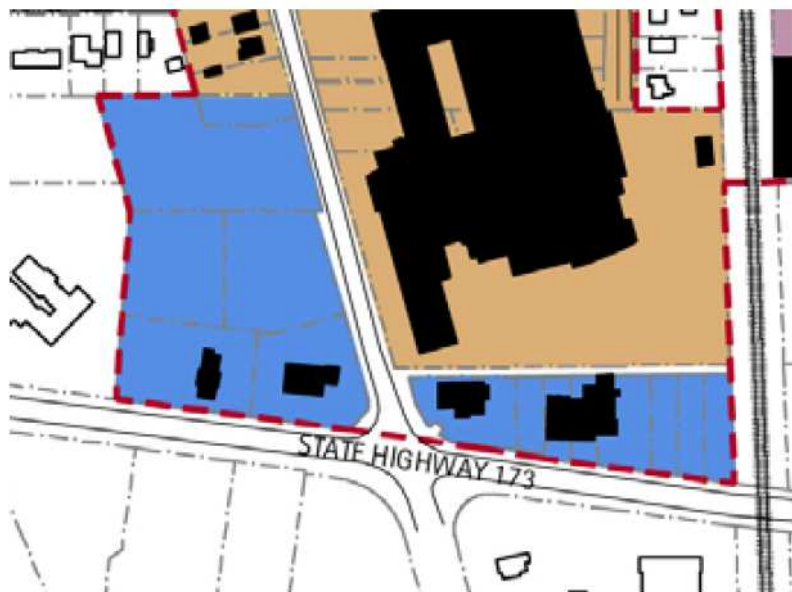
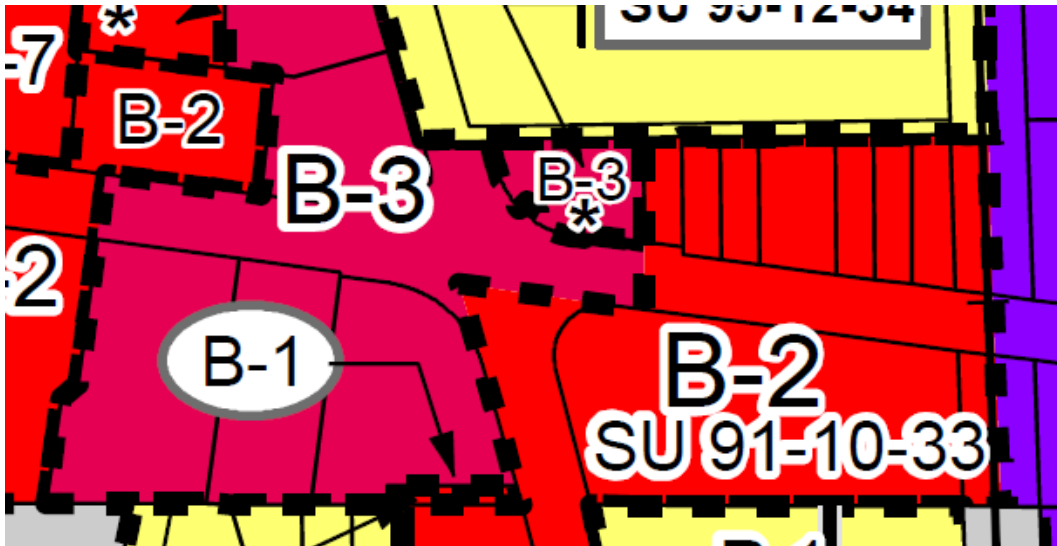
Respectfully submitted,

A handwritten signature in black ink, appearing to read "Dustin Nilsen", written over a light gray rectangular background.

Dustin Nilsen, AICP

Community Development Director

ATTACHMENT #1: File PZB11-07 Immediate Vicinity Zoning Map



The CE District, shown in blue, is located on the far southern edge of the Downtown study area.

ATTACHMENT #2: Life Safety Comments

To: Dustin Nilsen
From: Lee Shannon, III
CC: John Nixon, Jim Keim, Dennis Heimbrodt
Date: November 29, 2011
Re: Plan Review – Plat Approval for Subdivision – IL Route 173 & IL Route 83 – Walgreens – Site Plans Only

I have reviewed the site plans and paperwork submitted for the above mentioned property. I have the following concerns:

1. Fire Hydrant located at north east corner of property (#17-02-03) is an old double 2-1/2" hydrant that is practically unusable. This hydrant is currently a dead end hydrant on a 6" water main that is 500' from the nearest hydrant to the west.

Additional hydrants on the south side of the proposed building footprint are on the south side of IL Route 173. These are more suitable both water pressure and accessible needs. However, to use them requires immediate and total shut down of IL Route 173.

I would like to see the following:

- Hydrant #17-02-03 replaced with a double 2-1/2" with a 4-1/2" steamer
- Extend the dead end hydrant to loop to the south side of IL Route 173 water main (12" main)
- Install one additional hydrant on between #17-02-03 and #17-01-20 on the 6" main
- Install one additional hydrant on the south east corner of the property or in the easement of the north side of IL Route 173 nearest the south east corner of the property.

2. Trees are required as part of the landscape ordinance. Most of these trees on the conceptual landscape plan are on islands leading into and out of the parking area. In addition, trees are planned to be located along the south side of the building. Electrical, telephone and cable utilities all are above ground and are located along the north side of IL Route 173 (south side of proposed building).

Parking lot trees, especially those on parking islands, shall be of such type that when fully mature, will not impede, obstruct or otherwise cause damage

to emergency vehicles that would access such areas. Keep in mind that the trees planted under the utilities should be of such type that will not cause problems at maturity.

3. It is normal and customary for standalone stores to utilize sidewalk space for the sale of merchandise throughout the year. The current Walgreens store has a propane exchange and a movie dispensing box located on the sidewalk in front of it.

Plans shall be submitted showing the sidewalk and proposed locations and dimensions of such outdoor merchandising items.

4. It is typical for all businesses to have their parking lots cleared of snow during the winter months by pushing the snow past the outer perimeter of the parking lot. Based on the Conceptual Landscape Plan, this could pose a problem for pushing the snow past the outer perimeter of the parking area. In addition, if the winter produces a large amount of snow that lingers, snow piles could become sight obstructions along IL Route 173 and also IL Route 83 (Main Street). Being that this intersection is heavily travelled throughout the year, sight obstructions are a great concern.

Please present a snow removal plan that will address concerns of sight obstruction including all entrances and exits around this property including the entrance/exit between this property and the high school entrance to IL Route 83 (Main Street) north of the property.

5. In Item #1, discussion centered on the 6" water main. On the utility plan, it appears that this 6" water main will be used as a service connection for Walgreens. The proposed size of the building is 14,800 square feet. This will require the building to have an automatic fire protection (sprinkler) system installed. There is no indication of where this system will connect to a water main or where the fire department connection will be located.

Please submit a more detailed utility plan that will show where the automatic fire protection (sprinkler) system will be tied into a water main and where the proposed fire department connection will be located.

Water Main Map of area.



COMMUNITY HIGH SCHOOL DISTRICT 117
1625 Deep Lake Road
Lake Villa, IL 60046
847-838-7180

January 3, 2011

Village of Antioch
874 Main Street
Antioch, IL 60002

Dear Village Board,

Community High School District 117 has concerns about increased traffic and the safety hazard to students created by the building of a Walgreens at the corner of Rtes. 83 and 173. This letter serves to memorialize those concerns. These issues were presented at the December 8, 2011 Planning and Zoning meeting. The District wishes to continue to work with the Village and Centrum to develop a solution to address the issues raised, herein, and is very hopeful that an agreement can be reached, prior to the commencement of construction, that is acceptable to all.

The District contends the Walgreens development will increase the likelihood of students and auto traffic vying for the same space. We currently have an issue with drivers using our lot as a cut through from Bishop to 173. We believe this abuse will get worse as drivers will be cutting through our lot to get to the new Walgreens as it is such a popular shopping destination. Students traverse this area from the beginning of the school day, for PE classes, until activities and practices are finished in the evening. The District needs to avoid exposure of walking students to vehicle traffic.

We also have a concern that we will need to make costly reconfigurations to our lot and, among other changes, remove a permanent wall due to reduced space available for turnarounds for trucks making deliveries to the school. A large part of our lot will need to be reconfigured to accommodate a desired barrier and the staging of school buses in the early AM and mid PM.

Students travel from the building, across the parking lot, over the east alleyway, then directly past the new Walgreens drive through area to get to the playing fields located on the east side of the campus below the railroad tracks. Again, the District needs to avoid exposure of walking students to vehicle traffic.

The District would like a median/barrier constructed, preferably 1-2 feet tall and a few feet wide that will contain plant material and be aesthetically pleasing. This barrier will delineate school traffic from Walgreens traffic and will allow the District to better control any traffic that may enter its property. It is desirable for this barrier to curve, in such a way, that it will block traffic entering district property, near the drive thru, and interfering with student foot traffic. (see attachment)

COMMUNITY HIGH SCHOOL DISTRICT 117
1625 Deep Lake Road
Lake Villa, IL 60046
847-838-7180

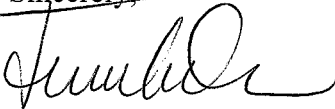
In the event it is not possible to have such a barrier cross the alleyway, the District would like a low profile impediment that would provide traffic control while still allowing any emergency vehicles to utilize the alleyway appropriately. This impediment would only replace the barrier section that crosses the alleyway. Along with the low profile barrier, the District would like signage directing Walgreens traffic to remain on Walgreens property.

It is understood that any barriers will be constructed on CHSD 117 property. Further, the District would like Walgreens to construct all barriers, at no cost to the District, during the construction of its new store. A drawing is included that illustrates the District's request.

We would also like the Village to vacate the unused alleyway that extends east from proposed traffic delineation mark to the fence just west of the railroad tracks. The Village has no obvious use for this alleyway the School District currently maintains it and does not expect compensation for such services.

Student safety is of the utmost priority to the District. Thank you for taking the time to consider the concerns of Community High School District 117.

Sincerely,



Jennifer Nolde
encl

ANTIOCH COMMUNITY
HIGH SCHOOL

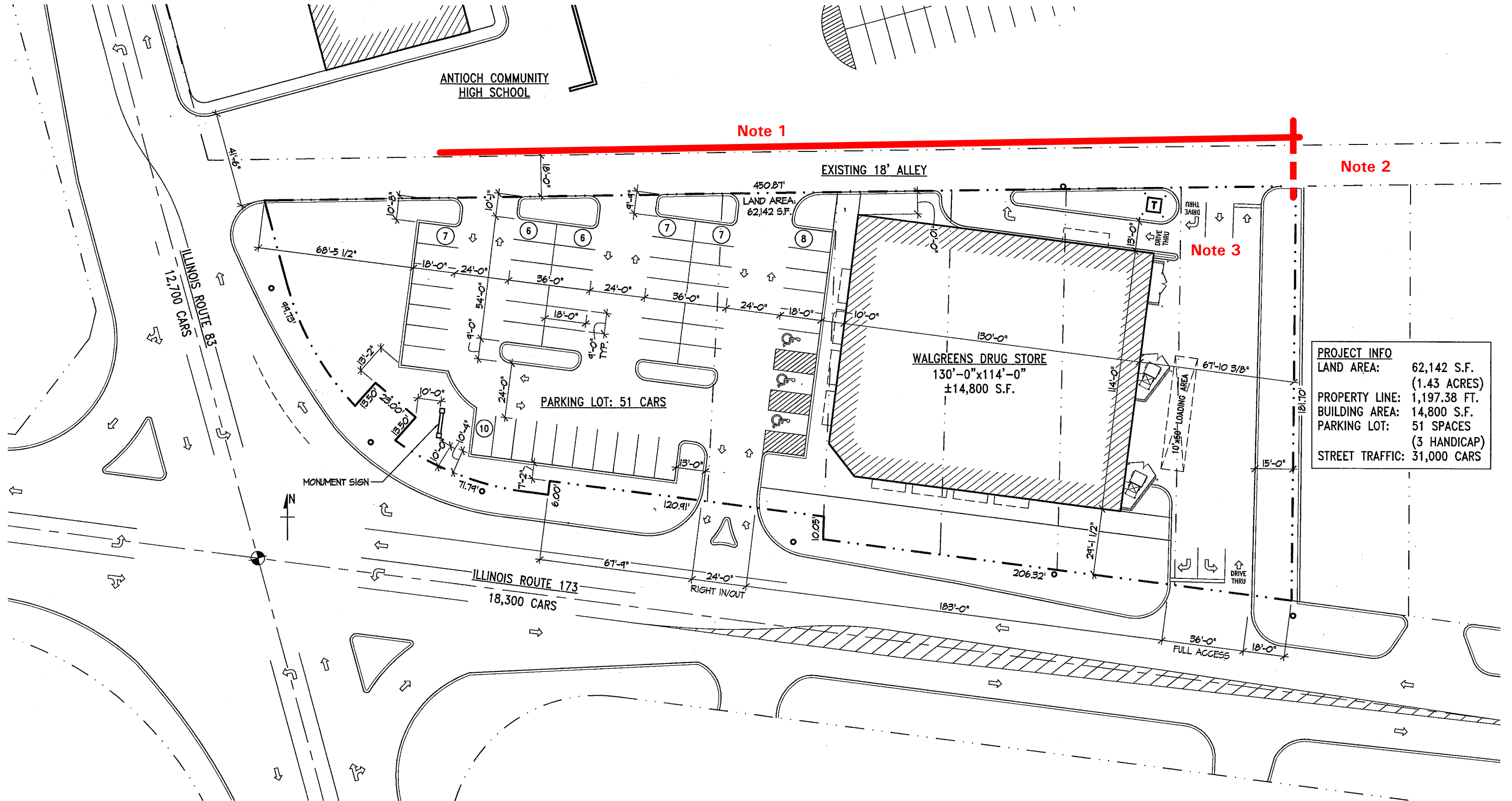
Note 1

EXISTING 18' ALLEY

Note 2

Note 3

PROJECT INFO	
LAND AREA:	62,142 S.F. (1.43 ACRES)
PROPERTY LINE:	1,197.38 FT.
BUILDING AREA:	14,800 S.F.
PARKING LOT:	51 SPACES (3 HANDICAP)
STREET TRAFFIC:	31,000 CARS



A Site Plan

Scale: 1" = 40'-0"

Centrum Properties Inc.

Real Estate Committee Presentation Site Plan
ROUTE 83 & ROUTE 173
Antioch, Illinois

March 23, 2010
10044
JSD

Hirsch Associates LLC
Architecture + Planning



January 4, 2012

9575 West Higgins Road, Suite 400 | Rosemont, Illinois 60018

p: 847-518-9990 | f: 847-518-9987

Mr. Dustin Nilsen
Village of Antioch
874 Main Street
Antioch, Illinois 60002

Re: Community High School District Letter Dated January 3, 2012

Dear Dustin:

We are in receipt of the letter submitted by the school district to the Village of Antioch Board concerning the proposed Walgreens development to be located in the northeast quadrant of the intersection of IL 83 and IL 173. We have broken out our response based upon the major issues discussed in the letter and the proposed modifications suggested by the school board.

Issue Number 1 - Drivers using high school lot as a cut through from Bishop to IL 173.

This is an existing condition independent on the proposed Walgreens store and is unlikely to increase as a result. If desired, we recommend as a possible solution the installation of a gate to be located along the east side of the high school south of Bishop that will prevent traffic from accessing the school lot during the school day. Assuming the Village's emergency services finds this acceptable, Centrum would be willing to install this gate as shown on the attached site plan exhibit.

Issue Number 2 - Conflict between students walking past the Walgreens drive-through area to get to the playing fields.

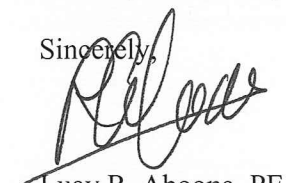
In order to address this concern, the attached site plan shows an island barrier separating the drive through internal access drives from the school's parking lot thus providing the desired delineation while providing for efficient and adequate vehicular access from IL 83 for both the school and Walgreens. In addition, the access drive along the east Walgreens property line has been configured and a "No Right Turn" sign will be added in order to discourage right turns.

Issue Number 3 - Barrier across alley east of the Walgreens site and vacation of alley.

These are issues which we cannot respond to and need to be addressed by the Village since the alley is public property.

Should you have any questions or require additional information, please let me know.

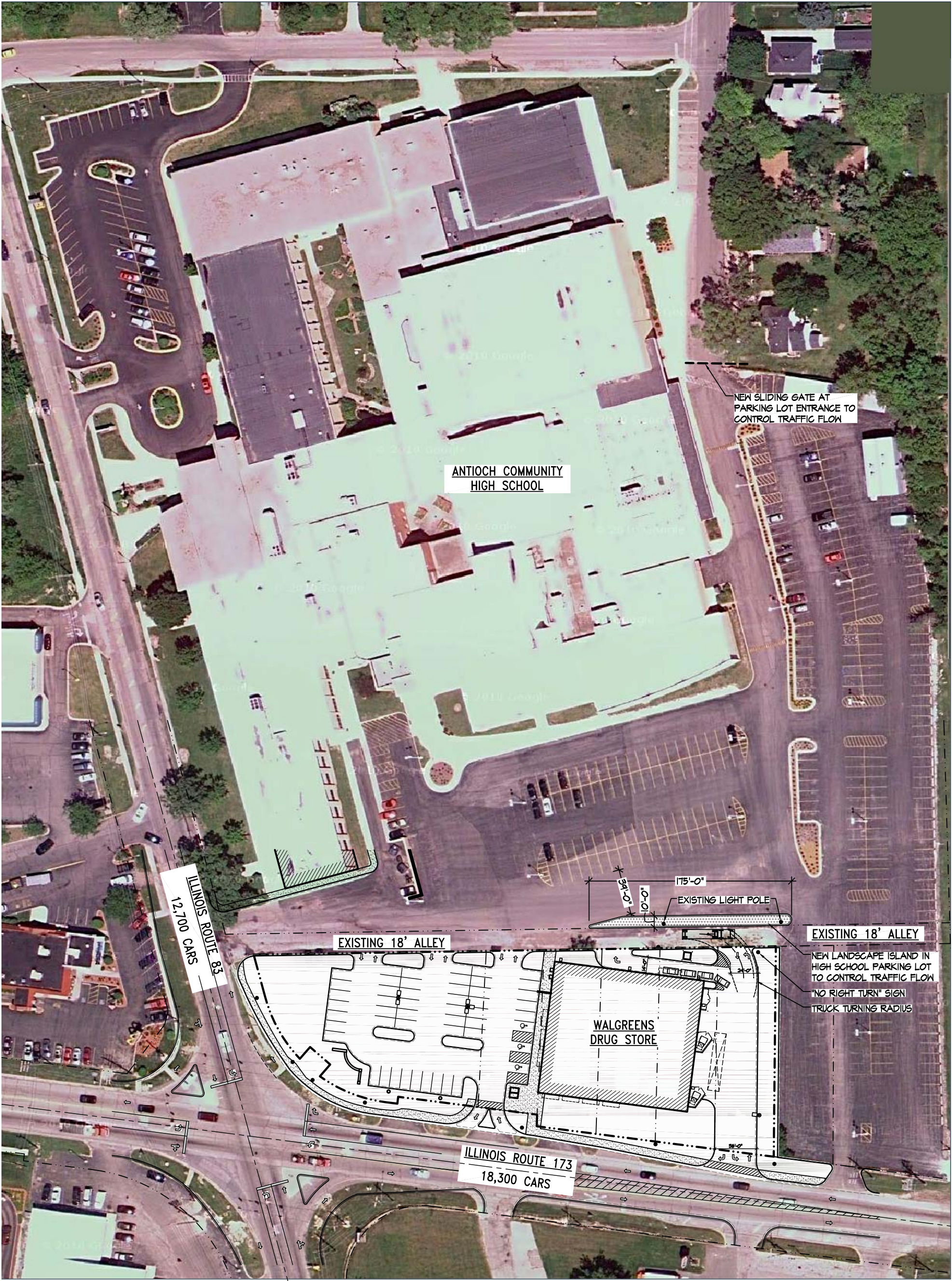
Sincerely,



Luay R. Aboona, PE
Principal

Enc. - Arial photograph with site plan showing proposed modifications to the Walgreens plan and high school property

C: Graham Palmer, Centrum Properties
Howard Hirsch, Hirsch & Associates, LLC
KLOA, Inc. Transportation and Parking Planning Consultants



A Aerial Photo

Scale: 1" = 80'-0"

Centrum Properties Inc.

Antioch Preliminary Submittal
ROUTE 83 & ROUTE 173
Antioch, Illinois

January 5, 2012
10044
JSD

Hirsch Associates LLC
Architecture + Planning



CENTRUM

PROPERTIES

January 25, 2012

VIA EMAIL DELIVERY

Mr. Dustin Nilsen

Director of Planning and Zoning

Village of Antioch

874 Main Street

Antioch, IL 60002

RE: NEW PROPOSED WALGREENS – AMENDED RENDERING

Dear Mr. Nilsen:

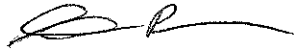
In response to the Village Board's comments at the January 16, 2012 Village Board Meeting, we have significantly revised the building facade to address the concerns expressed by several trustees. We acknowledge that this site is located at the gateway to Antioch's authentic downtown district which is highlighted by significant historic architecture. We have dedicated ourselves to working with the Village Board and Staff to address the concerns by creating a completely customized one of a kind building which we believe is unique and consistent with design elements of the downtown area and the new code. Some highlighted modifications to the previous submitted elevations include:

- The entire building was given an American Craftsman Style design.
- The primary corner element was changed from all stone to brick with stone base and accents.
- A horizontal overhang with Arts and Crafts style brackets were added to the primary corner element.
- Smaller versions of this overhang and brackets were added to the secondary corner elements.
- The stone base was raised at the primary corner element and changed to a random ashlar bond pattern.
- Light fixtures were added on both sides of the entrance.

With these changes we believe that our new design represents the best possible introduction and transition to the authentic historic architecture of downtown. We have worked very diligently to persuade Walgreens to deviate from the previously proposed elevations and we

hope that the Village Board will find the new elevations acceptable. Please feel free to contact me if you have any comments or questions. We look forward to your feedback.

Regards,

A handwritten signature in black ink, appearing to read 'Graham Palmer', with a long horizontal flourish extending to the right.

Graham Palmer

Enclosure



Centrum Properties Inc.

Preliminary Design
Route 83 & Route 173
Antioch, Illinois

January 20, 2012
10044
NN

Hirsch Associates LLC
Architecture + Planning



CENTRUM

PROPERTIES

January 5, 2012

VIA MESSENGER DELIVERY

Mr. Dustin Nilsen
Director of Planning and Zoning
Village of Antioch
874 Main Street
Antioch, IL 60002

RE: NEW PROPOSED WALGREENS – AMENDED SUBMITTAL

Dear Mr. Nilsen:

In response to the Memo from Dustin Nilsen dated December 1, 2011 and the Combined Planning Commission and Zoning Board meeting on December 8, 2011, please find enclosed the following amended documents:

- Updated Site Plan, dated January 5, 2012
- Updated Building Elevations dated January 5, 2012
- Updated Sign Exhibit, dated January 5, 2012
- Site Lighting Fixtures
- Updated Landscape Plans, dated January 5, 2012
- Updated Preliminary Engineering Plans, dated January 5, 2012
- Updated Building Rendering, dated January 5, 2012
- Updated Corner Sign Rendering, dated January 5, 2012

In addition, we offer on the following pages, responses to staff and P & Z Board comments. The comments have been provided by Manhard Consulting and Hirsch Associates. Should you have additional comments or questions ahead of January 11th Village Board meeting, please don't hesitate to contact me. I look forward to moving this development forward.

Regards,



Graham Palmer

Enclosure



Hirsch Associates LLC
Architecture + Planning

225 W Hubbard Street, 5th Floor
Chicago, Illinois 60654-4916

T 312.836.0011
F 312.836.0559

W www.hirschassociates.com
E info@hirschassociates.com

January 04, 2012

**Mr. Dustin Nilsen
Village of Antioch
874 Main Street
Antioch, IL 60062**

**Re: Proposed Walgreen Development
NEC Route 173 and Main Street, Antioch Illinois**

Dear Mr. Nilsen

Please find the responses below to the comments in your Development Review dated December 1, 2011 and Elevation/ Landscape mark-ups received on December 13, 2011.

The comments from the Form Based Code and Site Design section of the Development Review letter, providing improvements to the east and north building elevations, adding additional landscaping and using a more historic style of lighting fixture will be addressed in our response to the mark-ups we received on December 13th and as indicated below.

Building Elevation Comments:

Comment No.1: Provide a suspended steel canopy above the windows on the west and south elevations instead of the cantilevered steel canopy:

Response: This has been reviewed with Walgreen's and we agree to make this change. See the updated building elevations and rendered view.

Comment No.2: Infill the areas above the windows within the corner element's stone façade with brick:

Response: After reviewing this request, we believe that the design is much stronger cladding the corner element completely out of stone as depicted in the rendering. Adding the brick will make the stone elements too thin and will diminish the strength of this element. It is intended to read as a separate massing within the façade and the addition of brick will make this element appear to be a series of thin vertical columns.

Comment No. 3: Wrap all parapets back to avoid façade without depth of field:

Response: We have reviewed this situation and do not believe it is necessary. The cornice element will wrap around the corner and continue to the inside face of the adjacent masonry wall. Extending the wall over the roof will require a significant amount of extra structure for minimal impact.



Comment No. 4: Move stone tower element to southeast corner. Wrap tower and materials around to east façade to match material and mass of entry. Use bay in lieu of glazing at base (More faux entry than Northwest corner).

Response: We have developed a masonry bay expression at the southeast corner to match that of the northwest corner, shifting the wall sign to the west. Walgreens will not allow an entrance element anywhere other than the entrance, which we agree with, and the uses within the store will not allow real glass in this area. The cost for providing a fake window element will push this project over budget. We believe keeping the entrance element four bays wide along the south façade, including the current amount of vision glass, is much stronger and more desirable for the Route 173 frontage. In addition, the location of the trash enclosure along the east wall will interfere with the reading of this element as an entry. We have updated the building elevations and rendering to show this change.

Comment No. 5: Consider pilaster/ column and/or course pattern and wainscoting along the east façade.

Response: We have continued the stone base (wainscoting), stone cornice line and horizontal stone band along the entire length of the east and north facades. We are not showing columns or pilasters since the amount of other elements along these facades (trash, fencing, drive-thru, etc) would make it difficult to establish a regular spacing. We believe the changes we have made meet the intent of your comment.

Comment No. 6: Eliminate standing seam metal roofing from drive-thru canopy and use suspended canopy similar in style to the canopies on the rest of the building:

Response: We agree to this change.

Comment No. 6: Provide a material change or bay design at the drive-thru window.

Response: While we do not believe there is a need to do this in a location that is not a corner and that faces the school, we have provided a higher bay expression consistent with the corners of the building at the drive-thru window as requested.

Comment No. 7: Wrap bay from front around to north façade at northwest corner:

Response: We agree to this change.

Landscape Comment:

Comment No. 1: Replace required north hedge (not provided) to 83/173 parking perimeter:

Response: Landscape Plan has been adjusted.

Comment No. 2: Remove fence adjacent to building along alley to improve visibility:

Response: fence has been removed.



Comment No. 3 Provide ornamental site lighting (not shoe boxes)

Response: We have looked into providing a more decorative light fixture for the site lighting, having Cooper Lighting run photometric studies. Based upon the lighting levels required, utilizing all decorative light fixtures will require the addition of four light poles which is cost prohibitive. We are proposing that we keep the shoe box type lighting in the parking lot on the two poles previously shown, but provide two poles with lower, decorative lighting, more similar to the decorative street lighting along Main Street, along the south edge of the parking lot at 173. We have added a sheet showing the design/ cuts of the proposed light fixtures. This compromise will allow the parking lot to be lit adequately and give the decorative appearance requested along the perimeter.

Comment No. 4: Provide decorative sconce down lighting on the building's east and north facade.

Response: The lighting on the building's east and north facades is required to adequately light the service drive and drive-thru areas of the site. If these lights, which are proposed to be projecting downcast lights (not wall packs) are replaced with decorative lighting, additional light poles will be required to meet the general lighting needs which will be cost prohibitive.

Comment No. 5: Incorporate ornamental trees along the south facade of the building.

Response: This has been done.

Comment No. 6: Provide a table on the landscape plan showing the quantities of code required trees and shrubs and provided trees and shrubs.

Response: This has been provided.

Comment No. 7: Show stop bar for westbound 173 and vision triangles at the 173/ 83 and 83/ alley intersections:

Response: This has been shown.

We have provided a new set of design drawings clearly showing the proposed changes. Let us know if you have any additional comments or need any additional information.

Thank You,

**Howard Hirsch AIA LEEDap
President- Hirsch associates LLC**



Civil Engineering

Surveying

Water Resources Management

Water & Wastewater Engineering

Supply Chain Logistics

Construction Management

Environmental Sciences

Landscape Architecture

Planning

January 4, 2012

Mr. Dustin Nilsen
Village of Antioch
874 Main Street
Antioch, Illinois 60002

**RE: PROPOSED WALGREENS DEVELOPMENT
ANTIOCH, ILLINOIS**

Dear Mr. Nilsen:

Enclosed please find the following documents for your review:

- Preliminary Draft Utility Plan
- Calculations from MEP regarding the fire flow demands

Per review comments prepared by Lee Shannon III and dated November 29, 2011, we offer the following:

Comment #1

Fire hydrant located at northeast corner of property (#17-02-03) is an old double 2-1/2" hydrant that is practically unusable. This hydrant is currently a dead end hydrant on a 6" water main that is 500' from the nearest hydrant to the west. Additional hydrants on the south side of the proposed building footprint are on the south side of Route 173. These are more suitable both water pressure and accessible needs. However, to use them requires immediate and total shut down of Illinois Route 173.

I would like to see the following:

- Hydrant #17-02-03 replaced with a double 2-1/2" with a 4-1/2" steamer.
- Extend the dead end hydrant to loop to the south side of Illinois Route 173 water main (12" main).
- Install one additional hydrant between #17-02-03 and #17-01-20 on the 6" main.
- Install one additional hydrant on the southeast corner of the property or in the easement of the north side of Illinois Route 173 nearest the southeast corner of the property.

Response #1

We have enclosed a red line mark up of the preliminary utility plan to show the improvements that we are proposing to make. Our client, Centrum Properties, is proposing to replace Hydrant #17-02-03 as requested and to add the additional hydrant requested along the northern property line. As you can see in the attached calculations from the mechanical engineer the existing 6" water line will provide sufficient flow to support the sprinkler system in the proposed building. Therefore, we are seeking relief from the request to extend the existing 6" main $\pm 250'$ under IL Route 173 to connect to the 12" main south of 173 and to install an additional hydrant in the southeast corner of the property.

**Comment #2**

Trees are required as part of the landscape ordinance. Most of these trees on the conceptual landscape plan are on islands leading into and out of the parking area. In addition, trees are planned to be located along the south side of the building. Electrical, telephone and cable utilizes all are above ground and are located along the north side of Illinois Route 173 (south side of proposed building).

Parking lot trees, especially those on parking islands, shall be of such type that when fully mature, will not impede, obstruct or otherwise cause damage to emergency vehicles that would access such areas. Keep in mind that the trees planted under the utilities should be of such type that will not cause problems at maturity.

Response #2

Comment noted, this will be addressed on the final landscape plan.

Comment #3

It is normal and customary for standalone stores to utilize sidewalk space for the sale of merchandise throughout the year. The current Walgreens store has a propane exchange and a movie dispensing box located on the sidewalk in front of it.

Plans shall be submitted showing the sidewalk and proposed locations and dimensions of such outdoor merchandising items.

Response #3

Please refer to revised site plan provided by Hirsch Associates.

Comment #4

It is typical for all businesses to have their parking lots cleared of snow during the winter months by pushing the snow past the outer perimeter of the parking lot. Based on the Conceptual Landscape Plan, this could pose a problem for pushing the snow past the outer perimeter of the parking area. In addition, if the winter produces a large amount of snow that lingers, snow piles could become sight obstructions along Illinois Route 173 and also Illinois Route 83 (Main Street). Being that this intersection is heavily traveled throughout the year, sight obstructions are a great concern.

Please present a snow removal plan that will address concerns of sight obstruction including all entrances and exits around this property and the high school entrance to Illinois Route 83 (Main Street) north of the property.

Response #4

Comment noted, this will be addressed during the final review process. Please note that snow storage will be proposed in locations that will not create a sight obstruction.

Comment #5

In Item #1, discussion centered on the 6" water main. On the utility plan, it appears that this 6" water main will be used as a service connection for Walgreens. The proposed size of the building is 14,800 square feet. This will require the building to have an automatic fire protection (sprinkler) system installed. There is no indication of where this system will connect to a water main or where the fire department connection will be located.



Please submit a more detailed utility plan that will show where the automatic fire protection (sprinkler) system will be tied into a water main and where the proposed fire department connection will be located.

Response #5

See enclosed draft plan.

If you should have any questions, please do not hesitate to contact me.

Yours truly,
MANHARD CONSULTING, LTD.

Fran Fazio, P.E.
Vice President

FF/Nilsen010412LS110088/Cor

Enclosure

Cc Graham Palmer, Centrum Properties via e-mail
 Howard Hirsch, Hirsch Architects via e-mail

FIRE PROTECTION WATER SERVICE PRESSURE CALCULATION				
Walgreen's Antioch				
1093-C-1				
October 11, 2011				
FLOW TEST INFORMATION				
Static Pressure =	46	psi		
Residual Pressure =	45	psi at	300	gpm flowing
PRESSURE LOSSES	SUBTOTAL		TOTAL	
STATIC LOSS FROM STREET TO METER: (Distance in Feet x 0.03)	0	psi	0	psi
SUCTION HEAD LOSS OR GAIN: (Use 6 feet as the depth bury)(Elevation difference x 0.434)	2.5	psi	2.5	psi
PRESSURE LOSS THRU METER: (Based on flow and Meter type, if applicable)	0	psi	2.5	psi
PRESSURE LOSS THRU BACKFLOW PREVENTER (Based on flow and BFP type)	8	psi	10.5	psi
ELEVATION HEAD LOSS: (Height of Building x 0.434)	7.8	psi	18.3	psi
PIPE STATIC LOSS: (Longest run + 20% for fittings) x (0.03 psi loss thru pipe)	3	psi	21.3	psi
PRESSURE REQUIRED AT SPRINKLER: (15 psi for pipe schedule)(8 psi for hydraulic calculation)	15	psi	36.3	psi
MINIMUM REQUIRED PRESSURE AT STREET (Residual pressure from flow test)			45	psi
TOTAL EXCESS PRESSURE:			8.7	psi
GPM REQUIRED:			300.0	gpm
Is fire pump needed ?	Y/N			
COMMENTS:				
<p>The average pressure we get on the flow tests at a light hazard flow of 300 GPM is 45 PSI. There will be some losses due to watermain, piping backflow preventer and with all these losses by our rough calculation, seen above, workpoint will be 36.3 PSI. This will give our building an average of safety factors is 8 PSI to 10 PSI. The 8 to 10 PSI number above is sufficient for operation of the building sprinkler system.</p> <p>From these numbers and volume of flow, we should not need anything larger then the 6" main already supplying the site. Domestic water usage is minimal and the fire protection is the guiding factor. And as seen from the flow information, the 6"watermain can support our building's usage.</p>				

PROPOSED WALGREENS STORE AT ROUTE 83 & ROUTE 173
VILLAGE OF ANTIOCH, ILLINOIS
UTILITY PLAN

Manhard
CONSULTING LTD.

800 Woodlands Parkway, Warrenville, IL 60091 ph: 647.634.5550 fx: 647.634.0085 manhard.com
Civil Engineers • Surveyors • Water Resource Engineers • Water & Wastewater Engineers
Construction Managers • Environmental Scientists • Landscape Architects • Planners

DATE	REVISIONS	CREATED BY

- UTILITY NOTES:**
1. ALL UTILITY DIMENSIONS ARE TO OUTSIDE OF PIPE OR CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
 2. BUILDING DIMENSIONS AND ADJACENT UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL LAYOUT CURRENT AT THE DATE OF PREPARATION. THEREFORE, CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE NOTIFIED TO THE OWNER PRIOR TO CONSTRUCTION.
 3. THE CONTRACTOR SHALL CONTACT JULLIE (1-800-992-0123) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTRACT WITH THE PROPOSED IMPROVEMENT.
 4. ROUTING OF GAS, ELECTRIC AND TELEPHONE SERVICES IS SHOWN AS APPROXIMATE ONLY AND MADE BY RESPECTIVE BASED COMPANIES AND OWNER. CONTRACTOR SHALL CONTACT EACH UTILITY COMPANY AND COORDINATE START OF LOCATIONS FOR ALL UTILITY SERVICES PRIOR TO START OF CONSTRUCTION.
 5. CONTRACTOR SHALL EXCAVATE AND VERIFY ALL EXISTING ELEVATIONS AT PROPOSED POINTS, SIZES, CONDITIONS & TO LOCATE ALL UTILITIES AND NOTIFY THE OWNER OF ANY DISCREPANCIES OR CONFLICTS.
 6. LIGHTING AND UNDERGROUND CABLE IF SHOWN ON PLANS ARE FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR SPECIFIC DETAILS.
 7. THE CONTRACTOR SHALL ADJUST FLOW GRADES AS INDICATED ON PLANS.
 8. CONTRACTOR TO VERIFY LOCATION, SIZES, AND ELEVATION OF ALL BUILDING SERVICE LOCATIONS WITH ARCHITECTURAL PLANS.
 9. ALL UNDERGROUND IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS AND STANDARD SPECIFICATIONS FOR BRIDGE CONSTRUCTION IN THE EVENT OF CONFLICTING GUIDELINES, THE MORE RESTRICTIVE SHALL GOVERN.

SANITARY AND WATER DEMAND SUMMARY

SANITARY FLOW
14,800 S.F. BUILDING X 0.1 GPD/S.F. = 1,480 GPD
1,480 GPD = 15 PE

WATER DEMAND
BASED ON THE WATER FLOW TEST PROVIDED BY THE VILLAGE OF ANTIOCH, THE WATER MAIN ALONG THE NORTH PROPERTY LINE WILL BE SUFFICIENT TO MEET WALGREENS REQUIREMENTS FOR FIRE FLOW DEMANDS.

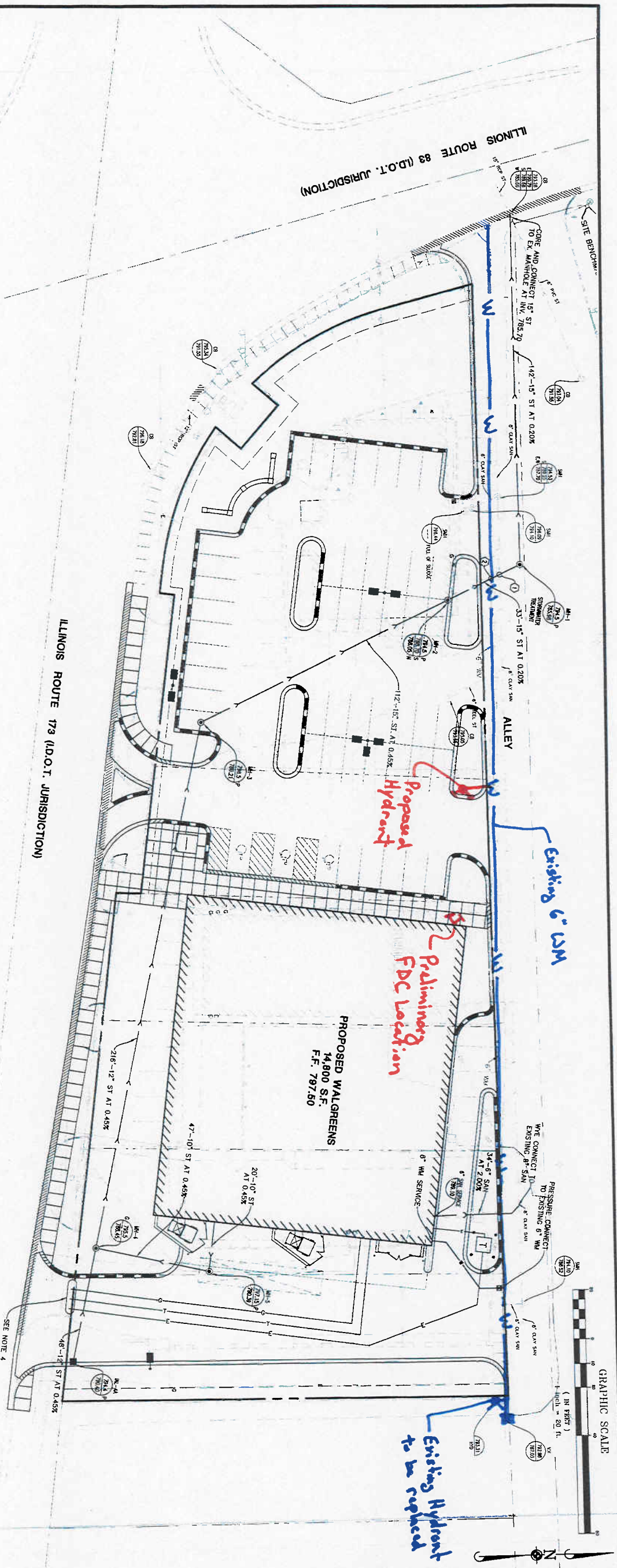
UTILITY CROSSINGS

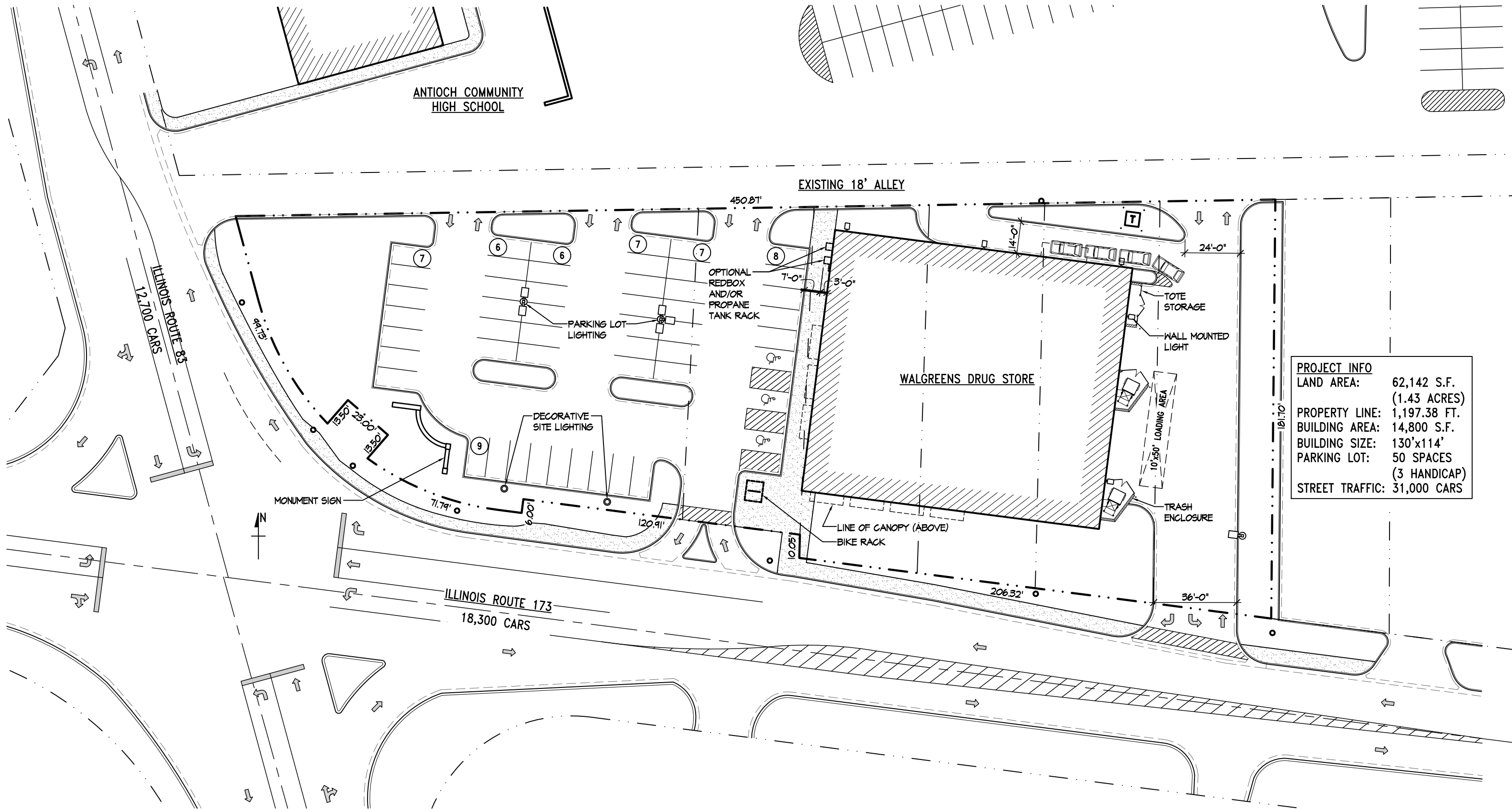
① SAN OVER ST
6" P SAN = ±787.6
1" P SAN = ±787.4
CRITICAL CROSSING

② SAN OVER ST
6" P SAN = ±788.9
1" P ST = ±787.5

*WATER AND SEWER CROSSINGS SEPARATION AND PIPE MATERIAL REQUIREMENTS.

12-15-11 MCL Utility DRAFT





PROJECT INFO	
LAND AREA:	62,142 S.F. (1.43 ACRES)
PROPERTY LINE:	1,197.38 FT.
BUILDING AREA:	14,800 S.F.
BUILDING SIZE:	130'x114'
PARKING LOT:	50 SPACES (3 HANDICAP)
STREET TRAFFIC:	31,000 CARS

A Site Plan

Scale: 1" = 40'-0"

Centrum Properties Inc.

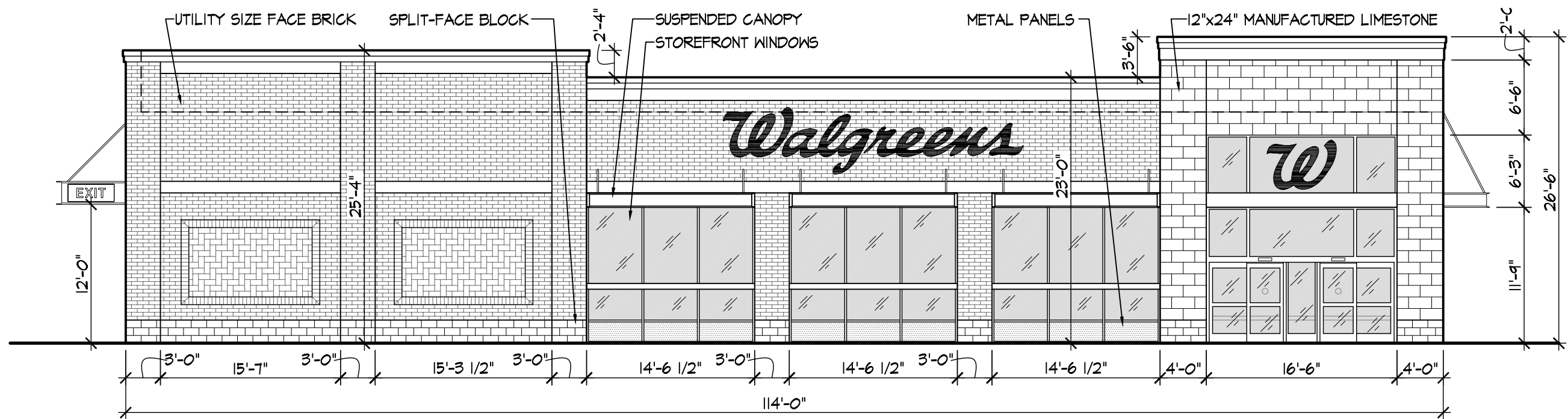
Issued For Village Board Review
ROUTE 83 & ROUTE 173
 Antioch, Illinois

January 5, 2012
 10044
 JSD

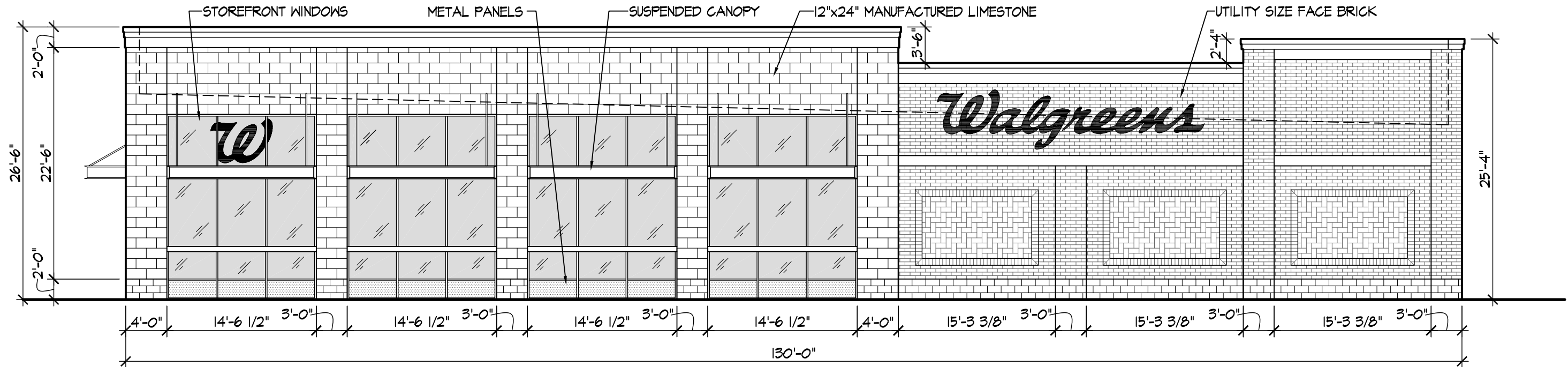
Hirsch Associates LLC
 Architecture + Planning



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B West Elevation



A South Elevation

Scale: 1" = 10'-0"

Centrum Properties Inc.

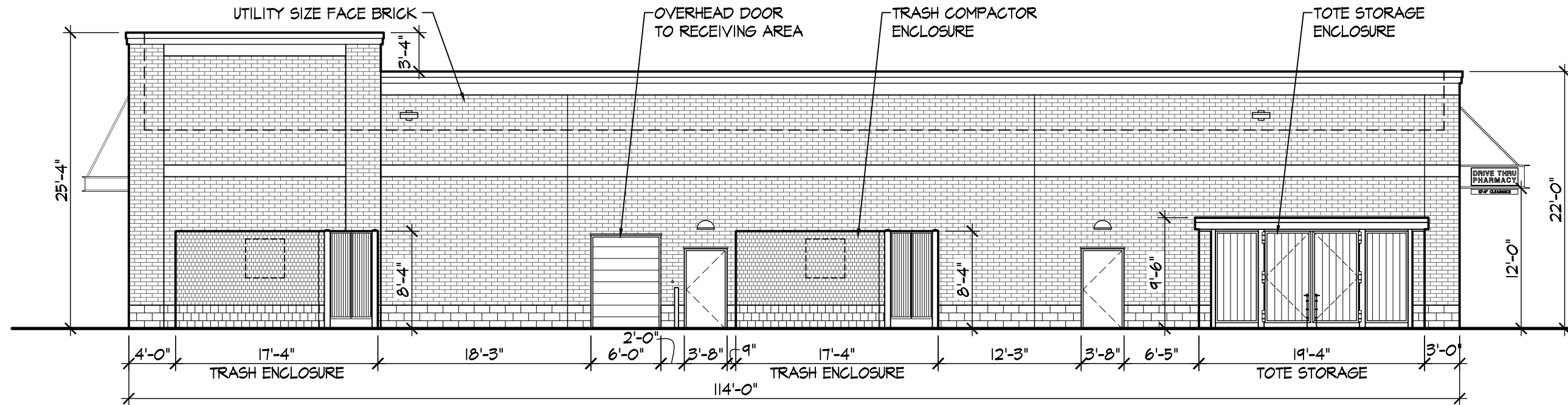
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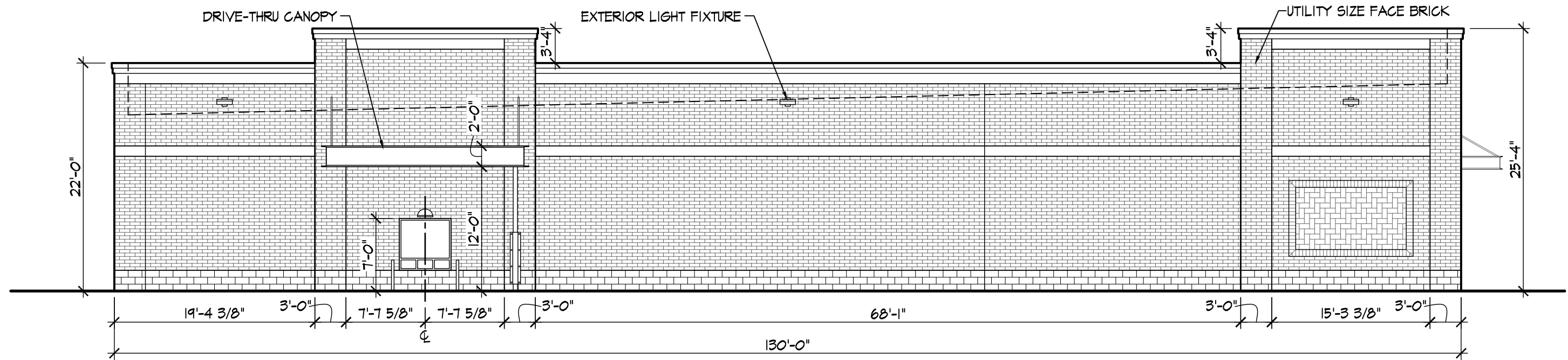
Hirsch Associates LLC
 Architecture + Planning



1



B East Elevation



A North Elevation

Scale: 1" = 10'-0"

Centrum Properties Inc.

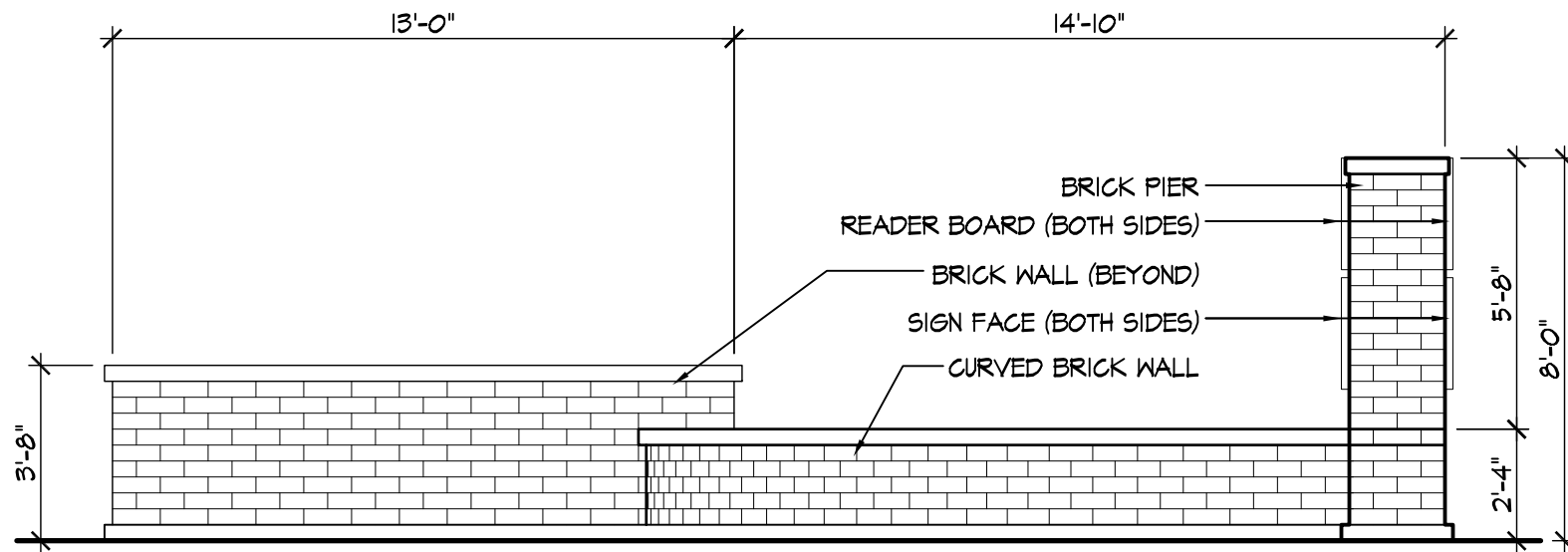
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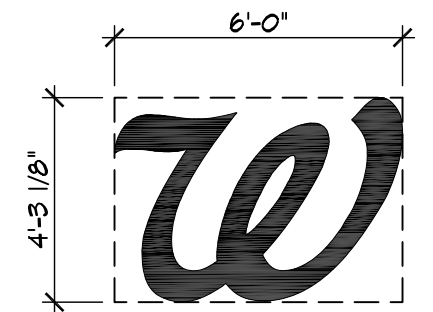
Hirsch Associates LLC
 Architecture + Planning



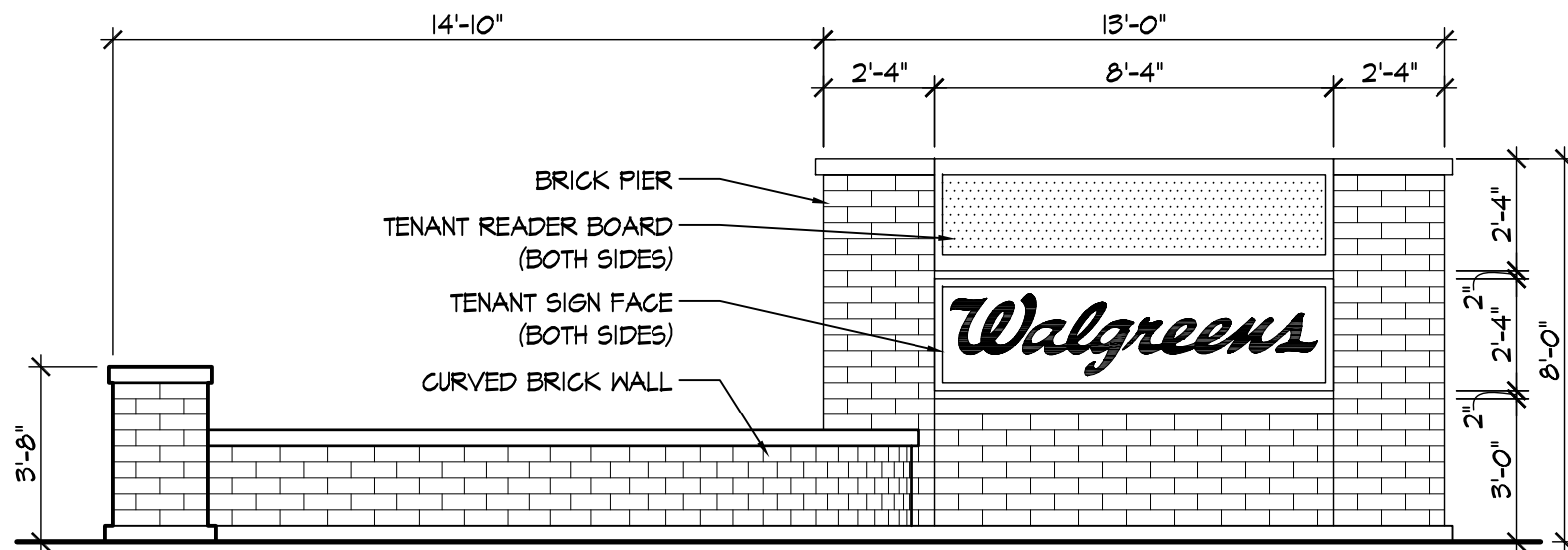
2



B Monument Sign - South Elevation



C Wall Signage Dimensions



A Monument Sign - West Elevation (East Elevation Similar)

MONUMENT SIGN DATA	
SIGN FACE AREA - "WALGREENS"	19.4 S.F./SIDE
SIGN FACE AREA - READERBOARD	19.4 S.F./SIDE
TOTAL SIGN AREA (PER SIDE)	38.8 S.F.
SIGN TOTAL HEIGHT	8'-0"
PROPERTY LINE SETBACK	10'-0"

WALL SIGN DATA	
SIGN AREA - "WALGREENS"	149.8 S.F.
SIGN AREA - "W"	25.6 S.F.
SIGN AREA (PER ELEVATION)	175.4 S.F.
AREA ALLOWED (SOUTH)	80 S.F.
AREA ALLOWED (WEST)	114 S.F.

A Monument Sign - West Elevation (East Elevation Similar)

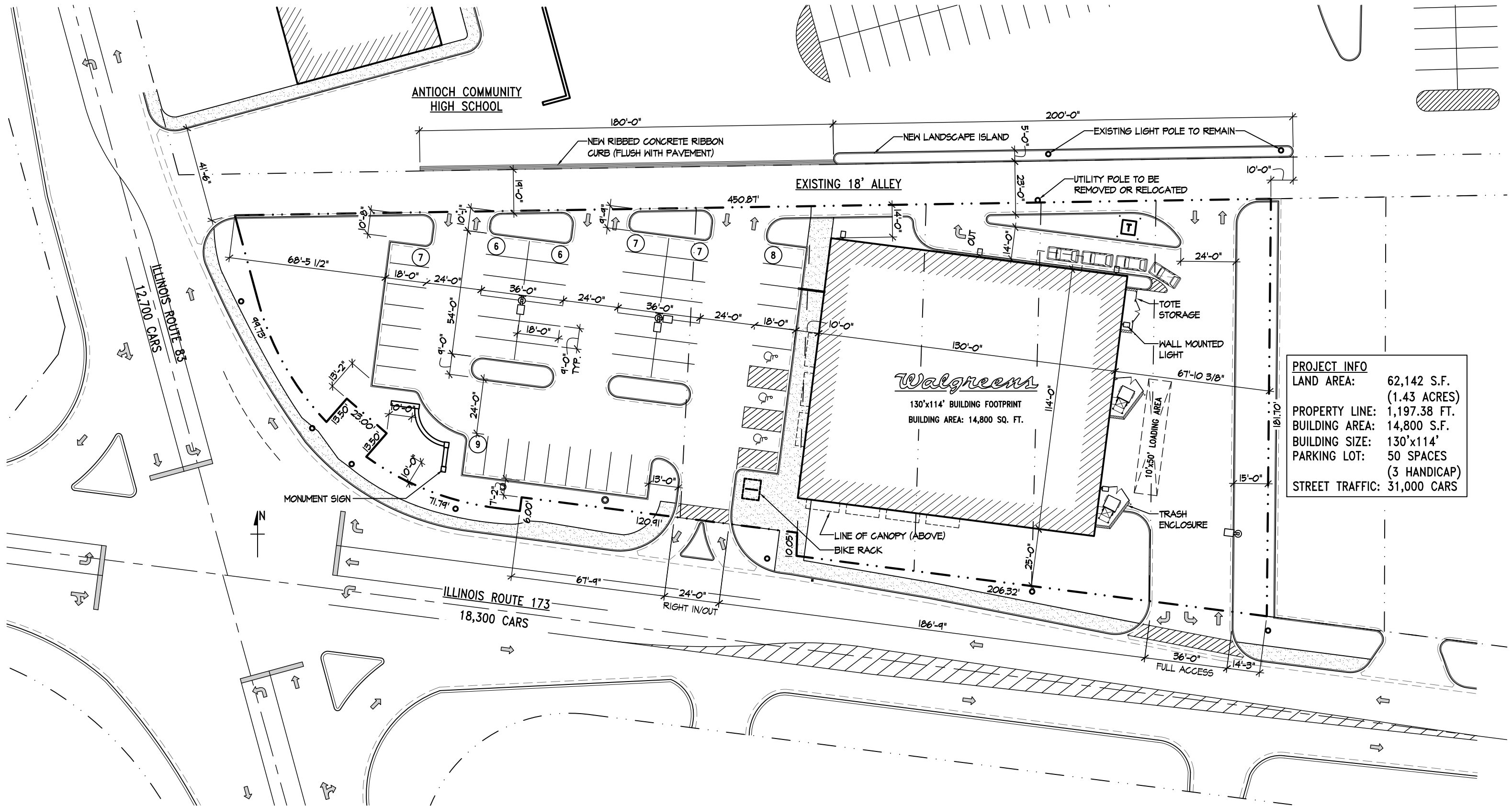
Scale: 1/4" = 1'-0"

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A Site Plan

Scale: 1" = 40'-0"

Centrum Properties Inc.

Leasing Site Plan
ROUTE 83 & ROUTE 173
Antioch, Illinois

January 12, 2012
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0

SITE DATA	
SITE AREA	62,290.80 S.F. (1.43 ACRES)
PARKING PROVIDED	50 SPACES
HANDICAP PROVIDED	3 SPACES
BUILDING AREA	14,800 S.F.

ABBREVIATIONS			
B.O.	BY OTHERS	MH	STORM MANHOLE
B/WALL	BOTTOM OF WALL	NWL	NORMAL WATER LEVEL
B/P	BOTTOM OF PIPE	PROP	PROPOSED
CB	CATCH BASIN	PVC	POLYVINYL CHLORIDE PIPE
CMP	CORRUGATED METAL PIPE	P	PAVEMENT
CONC	CONCRETE	R	RADIUS
DIA.	DIAMETER	RCP	REINFORCED CONCRETE PIPE
DIP	DUCTILE IRON PIPE	R.O.W.	RIGHT-OF-WAY
DIWM	DUCTILE IRON WATER MAIN	SAN	SANITARY SEWER
E	ELECTRIC	SF	SQUARE FOOT
E-E	EDGE TO EDGE	SL	STREET LIGHT
ELEV.	ELEVATION	SMH	SANITARY MANHOLE
E/P	EDGE OF PAVEMENT	ST	STORM SEWER
EX	EXISTING	TBR	TO BE REMOVED
FES	FLARED END SECTION	T	TELEPHONE
F.F.	FINISHED FLOOR	T/C	TOP OF CURB
FM	FORCE MAIN	TBD	TO BE DETERMINED
G	GROUND	T.F.	TOP OF FOUNDATION
G.F.	GRADE AT FOUNDATION	T/P	TOP OF PIPE
HWL	HIGH WATER LEVEL	T/W	TOP OF WALK
HYD.	HYDRANT	T/WALL	TOP OF WALL
INL	INLET	V.B.	VALVE BOX
INV.	INVERT	V.V.	VALVE VAULT
		WM	WATER MAIN

EXISTING	LEGEND	PROPOSED
	STORM SEWER	
	PVC STORM SEWER	
	SANITARY SEWER	
	COMBINATION SEWER	
	FORCE MAIN	
	GAS MAIN	
	ELECTRIC	
	TELEPHONE	
	STORM MANHOLE	
	STORM INLET	
	STORM CATCH BASIN	
	FLARED END SECTION	
	SANITARY MANHOLE	
	HYDRANT	
	VALVE VAULT	
	VALVE BOX	
	GAS VALVE	
	ELECTRICAL TRANSFORMER	
	TELEPHONE PEDESTAL	
	POWER POLE	
	STREET LIGHT	
	SIGN	
	CURB AND GUTTER	
	REVERSE CURB AND GUTTER	
	DEPRESSED CURB AND GUTTER	
	TOP OF CURB ELEVATION	
	TOP OF WALK ELEVATION	
	TOP OF WALL ELEVATION	
	PAVEMENT ELEVATION	
	GROUND ELEVATION	
	RIM ELEVATION	
	INVERT ELEVATION	
	1 FOOT CONTOURS	
	OVERLAND FLOW	
	SWALE	
	RELIEF SWALE	
	SIDEWALK	
	ACCESSIBLE CURB RAMP	
	PROPERTY LINE	
	EASEMENT LINE	
	SETBACK LINE	
	SILT FENCE	
	RETAINING WALL	

- SITE DIMENSIONAL AND PAVING NOTES:**
- ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB OR BUILDING FOUNDATION UNLESS NOTED OTHERWISE. ALL RADI DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL PROPOSED CURB AND GUTTER SHALL BE B6.12. UNLESS OTHERWISE NOTED.
 - ALL CURB RADI SHALL BE 3' MEASURED TO FACE OF CURB UNLESS NOTED OTHERWISE.
 - BUILDING DIMENSIONS AND ADJACENT PARKING AND UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 - IMPROVEMENTS ADJACENT TO BUILDING IF SHOWN SUCH AS TRUCK DOCK, RETAINING WALLS, SIDEWALKS, CURBING, FENCES, CANOPIES, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS, AND TRANSFORMERS ETC. HAVE BEEN SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS, SPECIFICATIONS, AND DETAILS.
 - EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS AS PREPARED BY MANHARD CONSULTING, LTD. ON 3-8-11. CONTRACTOR SHALL FIELD CHECK EXISTING ELEVATIONS AND CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.
 - LOCATION OF PRIVATE SIDEWALKS SHALL BE COORDINATED WITH PROPOSED DOORWAYS. CONTRACTOR TO VERIFY ACTUAL BUILDING PLAN LOCATIONS WITH ARCHITECT/DEVELOPER PRIOR TO CONSTRUCTING THE SIDEWALKS.
 - HANDICAP RAMPS SYMBOLS ARE SHOWN FOR LOCATION ONLY; THEY SHALL BE CONSTRUCTED TO MEET IDOT STANDARD DETAIL 424-001-06 (SHEETS 1 & 2). SEE DETAIL.
 - ALL ROADWAY AND PARKING LOT SIGNAGE, STRIPING, SYMBOLS, ETC. SHALL BE IN ACCORDANCE WITH LATEST STATE OF ILLINOIS STANDARD DETAILS.
 - SOME EXISTING ITEMS TO BE REMOVED HAVE BEEN DELETED FROM THIS PLAN FOR CLARITY. SEE DEMOLITION PLAN FOR ITEMS DELETED.
 - ALL ROADWAY AND PARKING LOT IMPROVEMENTS SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, DEPARTMENT OF TRANSPORTATION, STATE OF ILLINOIS, LATEST EDITION.

LINE TABLE		
LINE	BEARING	LENGTH
L1	N 01°50'43" E	10.05'
L2	S 07°19'07" W	6.00'
L3	N 82°40'53" W	10.37'
L4	N 41°04'51" E	13.50'
L5	N 48°55'09" W	23.00'
L6	S 41°04'51" W	13.50'
L7	N 15°09'31" W	38.32'

CURVE TABLE				
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	123.77'	61.42'	S 68°27'54" E	60.79'
C2	123.77'	61.41'	S 29°22'20" E	60.78'

PAVEMENT LEGEND	
	STANDARD DUTY PAVEMENT 1 1/2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50 2 1/4" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-19, N50 8" AGGREGATE BASE COURSE, TYPE B
	HEAVY DUTY PAVEMENT 2 1/4" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50 2 1/4" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-19, N50 10" AGGREGATE BASE COURSE, TYPE B
	ENTRANCE DRIVE PAVEMENT 2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50 10" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-19, N50 6" AGGREGATE BASE COURSE, TYPE B
	CONCRETE PAVEMENT 6" CONCRETE PAVEMENT 4" AGGREGATE BASE COURSE, TYPE B
	SIDEWALK

PROPOSED WALGREENS STORE AT ROUTE 83 & ROUTE 173

VILLAGE OF ANTIOCH, ILLINOIS

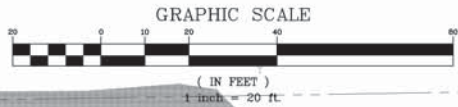
SITE DIMENSIONAL AND PAVING PLAN

PROJ. MGR.: DJ
PROJ. ASSOC.: DM
DATE: 10-13-11
SCALE: 1"=20'
SHEET
1 OF **3**
CEIAN2 110088

PENDING APPROVAL - NOT FOR CONSTRUCTION

Manhard
CONSULTING LTD.
800 Woodlands Parkway, Vernon Hills, IL 60061 ph:847.634.1550 fx:847.634.0095 manhard.com
Civil Engineers • Surveyors • Water Resource Engineers • Water & Wastewater Engineers
Construction Managers • Environmental Scientists • Landscape Architects • Planners

DATE	REVISIONS	DRAWN BY
		REH



ILLINOIS ROUTE 83 (I.D.O.T. JURISDICTION)

PUBLIC ALLEY

S 89°05'06" W 450.87'

PROPOSED WALGREENS
14,800 S.F.
F.F. 797.50

ILLINOIS ROUTE 173 (I.D.O.T. JURISDICTION)

PROPOSED RIGHT IN/
RIGHT OUT ACCESS

PROPOSED B6-24
CURB AND GUTTER

PROPOSED FULL ACCESS

January 4, 2012 - 13.43 Draw Name: B:\Gis\Drawings\Drawings\Site\Site.dwg User: jg... Modified By: jg...

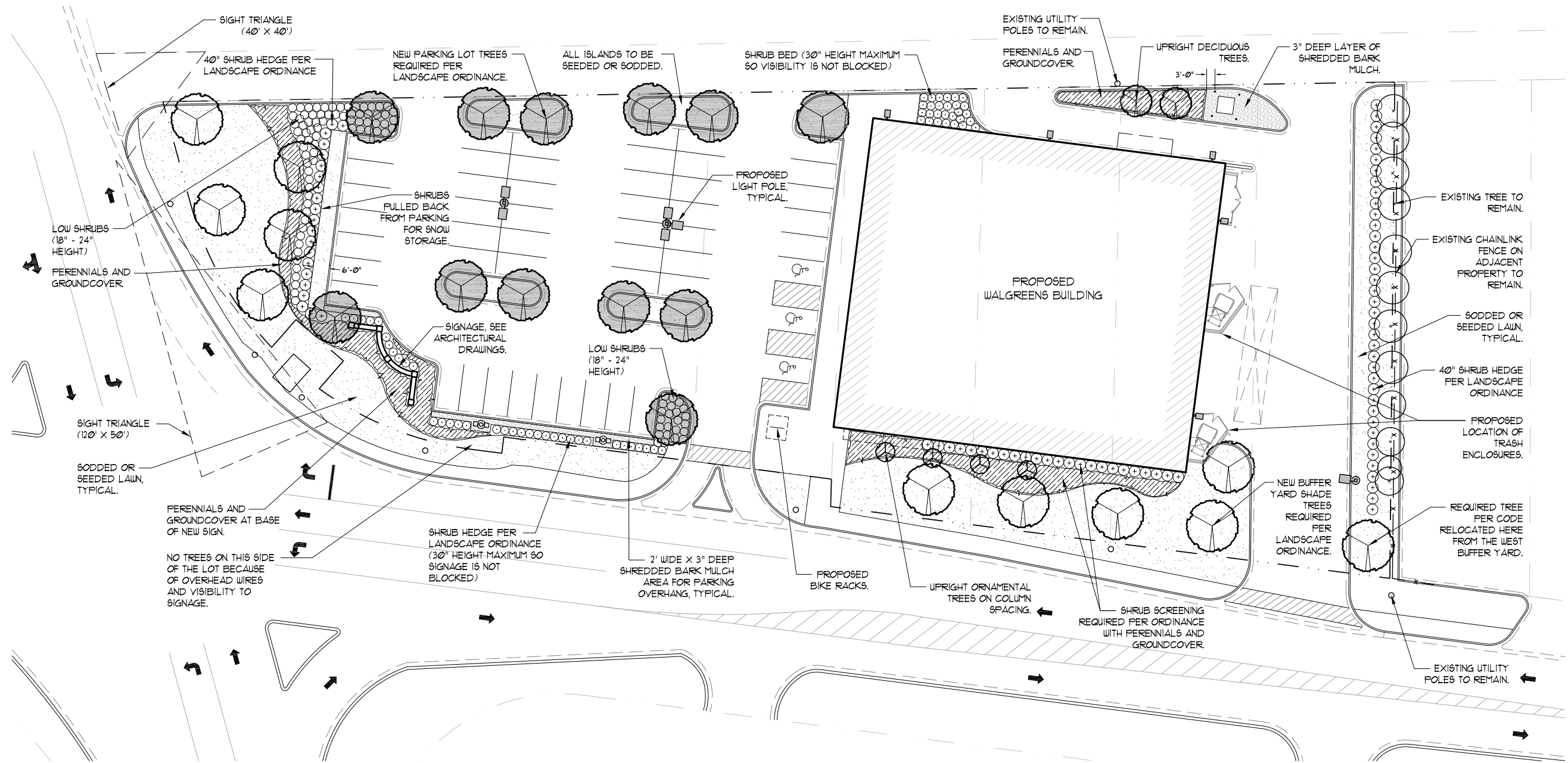


DANIEL WEINBACH
&
PARTNERS, LTD.

Landscape Architects

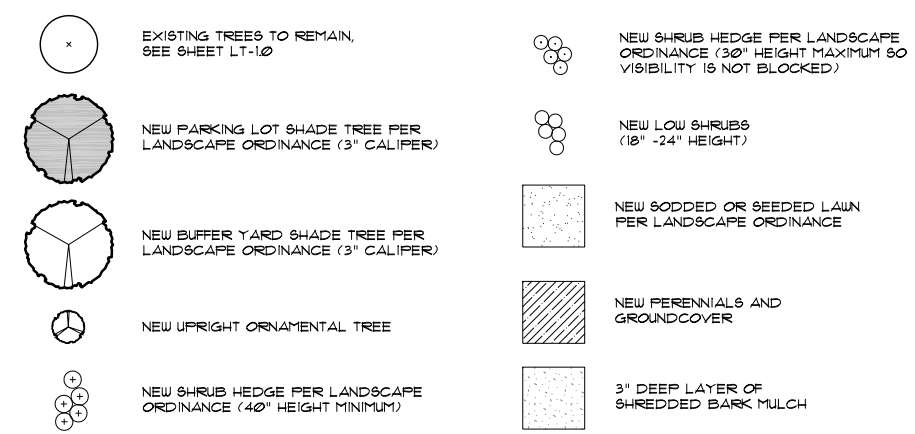
53 W. Jackson Blvd.
Suite 250
Chicago, IL 60604

312 427-2888
www.dwp1td.com



1 CONCEPTUAL LANDSCAPE PLAN
SCALE: 1"=20'-0"

GRAPHICS KEY



NOTE:
REPLACEMENT TREES ARE NOT SHOWN ON THIS DRAWING AS IT IS
DEEMED THAT NONE ARE REQUIRED. SEE THE PRESERVATION
AND REMOVALS PLAN, SHEET LT-10.

PLANT PALETTE

SHADE TREES - 3" CALIPER HONEYLOCUST AUTUMN BLAZE MAPLE PROSPECTOR ELM GINGKO CHANTICLEER PEAR	LOW SHRUBS - 18"-24" HEIGHT / SPREAD ROSE SPP. GRO LOW SUMAC SPIRAEA SPP.
TALL SHRUBS - 36"-48" HEIGHT / SPREAD VIBURNUM SPP. DWARF KOREAN LILAC NINEBARK REDTIG DOGWOOD PEKING COTONEASTER	PERENNIALS AND GROUNDCOVERS - 1 GALLON / 3" POTS CATMINT DAYLILY SPP. FEATHER REED GRASS PERENNIAL GERANIUM CONEFLOWER SPP. CORALBELLS KOBOLD LIATRIS SEDUM SPP. WINTERCREEPER PERIWINKLE

SITE LANDSCAPE CHART

MATERIAL TYPE	QUANTITY PROVIDED	TOTALS
SHADE TREES (PARKING LOT)	12	25
SHADE TREES (BUFFER YARDS)	13	
ORNAMENTAL TREES	4	4
SHRUBS (40" MINIMUM)	83	243
SHRUBS (30" MAXIMUM)	65	
SHRUBS (18" - 24")	95	
PERENNIALS AND GROUNDCOVER	2,150 SQ. FT. (APPROX.)	2,150 SQ. FT.
SEEDDED OR SODDED LAWN	1,620 SQ. YD. (APPROX.)	1,620 SQ. YD.
MULCH (545 SQ. FT @ 3" LAYER)	5 CU. YD (APPROX.)	5 CU. YD.

Revisions		
8.		
7.	ISSUED FOR VILLAGE BOARD REVIEW	01/05/12
6.	RE-ISSUED FOR OWNER REVIEW	12/19/11
5.	RE-ISSUED FOR OWNER REVIEW	12/13/11
4.	RE-ISSUED FOR OWNER REVIEW	10/12/11
3.	RE-ISSUED FOR OWNER REVIEW	10/06/11
2.	RE-ISSUED FOR OWNER REVIEW	10/05/11
1.	ISSUED FOR OWNER REVIEW	09/29/11

Project

WALGREENS

RTE. 173 AND RTE. 83
ANTIOCH, ILLINOIS

Sheet Title

**CONCEPTUAL
LANDSCAPE
PLAN**

Date 09/28/2011	Project No. DWP 11-149
Scale 1" = 20'-0"	Sheet No.
Drawn By AP	L-1.0
Approved WS	



A Monument Sign Rendering Looking Northeast

Not To Scale

Centrum Properties Inc.

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